



# GREENS PRAIRIE RESERVE

## CERTIFICATION GREENS PRAIRIE RESERVE COMMUNITY ASSOCIATION, INC.

### Residential Design Guidelines

I, the undersigned, pursuant to Texas Property Code §202.006, certify:

That I am the Director of Greens Prairie Reserve Community Association, Inc., a Texas nonprofit corporation (the "*Association*");

That the attached document is a document that applies to the operation and utilization of residential property within Greens Prairie Reserve, a development in Brazos County, Texas;

That the property affected by the attached document is the property restricted by that certain First Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Greens Prairie Reserve, recorded under Clerk's File No. 1543393 in the Official Public Records of Brazos County, Texas, as same has been or may be amended from time to time (the "*Declaration*"), and any other property which has been or may be annexed thereto and made subject to the authority of the Association;

That the document which affects the use and operation of the above-referenced property is attached as Exhibit A.

That the document attached as Exhibit A was adopted by Declarant (as defined in the Declaration) pursuant to the authority contained in Article XI of the Declaration and replaces in its entirety those certain Residential Design Guidelines recorded under Clerk's File No. 1509606 in the Official Public Records of Brazos County, Texas.

SIGNED this the 21st day of March, 2025.

**GREENS PRAIRIE RESERVE COMMUNITY  
ASSOCIATION, INC.**

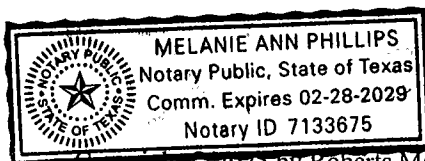
By: Chris Rhodes  
Print Name: Chris Rhodes  
Title: Director

STATE OF TEXAS §

COUNTY OF Brazos §

BEFORE ME, the undersigned authority, on this day personally appeared Chris Rhodes, the Director of Greens Prairie Reserve Community Association, Inc., known by me to be the person whose name is subscribed to this instrument, and acknowledged to me that s/he executed the same for the purposes and in the capacity stated in this instrument, and as the act and deed of said corporation.

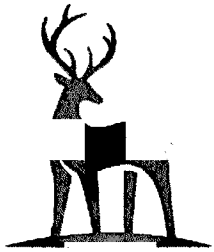
Given under my hand and seal of office this the 21st day of March 2025.



Melanie Ann Phillips  
Notary Public – State of Texas

**EXHIBIT A**

*(Residential Design Guidelines follow)*



# GREENS PRAIRIE RESERVE

## Residential Design Guidelines

July 2019

*Revised 2.1.2020*

*Revised 3.17.2020*

*Revised 5.11.2020*

*Revised 11.1.2020*

*Revised 12.23.2020*

*Revised 5.1.2021*

*Revised 5.21.2022*

*Updated 6.24.2022*

*Revised 7.1.2022*

*Updated 4.5.2023*

*Updated/Revised 7.25.2023*

*Updated 10.13.2024*

*Updated 1.22.2025*

*Revised 3.12.2025*

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## Introduction

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These Greens Prairie Reserve Residential Architectural Guidelines (these “**Guidelines**”) are adopted by OGC CNO JV, LLC, a Texas limited liability company (“**Declarant**”), and are presented as a set of development standards that assist in realizing the vision for the Greens Prairie Reserve residential development (“**Greens Prairie Reserve**” or the “**Property**”), which vision enhances the quality of the land and Owners’ and Occupants’ highest values by preserving the natural environment and bringing the Property together. These Guidelines provide the framework for essential community objectives to achieve an attractive and coordinated setting for the Builders, Owners and Occupants. These Guidelines are not intended to limit the creativity of the Owners in their design and construction as design diversity is encouraged. Owners should strive to go beyond the minimum standards and provide the most desired Dwelling designs. The intent of these Guidelines is to provide sophistication and elegant design while maintaining a casual feel.

These Guidelines are supplemental to the First Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Greens Prairie Reserve, recorded under Clerk’s File No. 1543393 in the Official Public Records of Brazos County, Texas, as same has been and may be amended and supplemented from time to time (the “**Declaration**”), and encumber all Lots made subject to the Declaration. Owners must refer to these Guidelines and to the Declaration before commencing any activity on or in connection with a Lot or Dwelling within the Property. In addition, the prior written approval of the Greens Prairie Reserve Architectural Review Committee (the “**ARC**”), a committee of the Board of Directors (the “**Board**”) of Greens Prairie Reserve Community Association, Inc. (the “**Association**”), as set forth in the Declaration, of any construction plan, including the site plan, design development plan, and exterior plan, must be obtained prior to commencement of any work on a Lot within the Property. As more fully set forth in the Declaration, the ARC has jurisdiction over all original construction on the Lots and over modifications, additions, and alterations made on or to the Dwellings and other improvements on the Lots within Greens Prairie Reserve.

Reference is made to the Declaration for all purposes. Unless otherwise set forth in these Guidelines, the capitalized terms used in these Guidelines are defined as set forth in the Declaration, which definitions are incorporated in these Guidelines by this reference. References to “Owner” in these Guidelines include the more narrowly defined term of “Builder”, as set forth in the Declaration. Where appropriate, the narrower term “Builder” is used in these Guidelines instead of “Owner”.

These Guidelines establish a process for the review of all new Dwelling construction within Greens Prairie Reserve to help enhance the following characteristics in Greens Prairie Reserve:

- ❖ **Natural:** A key goal throughout Greens Prairie Reserve is to preserve the integrity of the land and incorporate as much land as possible in the community design.
- ❖ **Private:** By working with the existing trees and brush to create natural buffers between Dwellings and the surrounding streets, Greens Prairie Reserve has been developed so that Owners and Occupants can enjoy an unmatched sense of privacy, all within minutes of modern amenities.
- ❖ **Discovery:** Curvilinear streets and trails open up to rolling land, thriving wildlife and fish-filled ponds to create a diversity of experiences and places to explore within the Property.
- ❖ **Timeless:** No trendy architecture, landscaping or amenities will take away from the classic beauty of the land. Greens Prairie Reserve has been designed so that every detail – in design and quality – will be sure to stand the test of time.
- ❖ **Thoughtful:** From the land plan to the design to the project partners, great care has been taken in every step of the process to ensure that the Property will be successful for the Owners.

These Guidelines also set standards to ensure that all Lots are developed with the quality and consistency desired before, during, and after construction. In addition, the architectural control contemplated by these Guidelines aims to foster a sense of a general plan and scheme throughout the Property, creating a cohesive visual identity. To accomplish these goals, the ARC reviews applications and design documents for all modifications, improvements, and additions on or to a Lot, including landscaping. Each application is evaluated on its own merit, with reasonable flexibility for design functionality and creativity. It is the responsibility of each Owner and Occupant to act in accordance with these Guidelines and to maintain the Owner’s or Occupant’s Lot in accordance with same. These Guidelines are presented as a minimum set of architectural guidelines and standards for Greens Prairie Reserve and provide a framework to illustrate and define design objectives for a harmonious setting within Greens Prairie Reserve.

Declarant, the Association, the Board, the ARC, and the respective officers, directors, employees, agents, managers, partners, members (of a for-profit entity), representatives, successors, and assigns of the aforementioned parties (collectively, the “**Greens Prairie Reserve Entities**”) are not liable in damages or otherwise to any party who submits matters for approval to any of the Greens Prairie Reserve Entities, or to any Owner affected by these Guidelines by reason of mistake of judgment, negligence, or nonfeasance arising out of or in connection with the approval, disapproval, or failure to approve or disapprove of any matters requiring approval. Each party who submits plans for a proposed improvement and each party who may be affected by the approval or disapproval of plans for a proposed improvement agrees, by the submission of plans for a proposed improvement, that such party will not claim or file suit against the Greens Prairie Reserve Entities as a result of the approval or disapproval of the plans or the failure to approve or disapprove of the plans. Owners acknowledge that approval by the ARC of any plans submitted pursuant to the Declaration or these Guidelines does not cover or include approval for any other purpose and is not intended as any kind of representation, warranty, or guarantee as to compliance with state or local law or as to integrity or workability of the plans or the contractors used. Furthermore, Owners acknowledge that, under the Declaration, the Association and the ARC do not represent or warrant that the development of Lots in compliance with these Guidelines will result in the development of Lots in compliance with the Declaration or any plans that have been or will be approved by the ARC. Owners acknowledge that they must obtain the ARC’s prior approval of the development plan for the Lots and otherwise follow the requirements set forth in the Declaration, the applicable plat, and state and local law. If a conflict between these Guidelines, the Declaration, the applicable plat, and state or local law arises, the more restrictive requirement controls.

## I. Site Plan Guidelines

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### A. Product Types *updated 1.22.2025*

1. “**Founder**”: 50’ – 55’ Lots
2. “**Classic**”: 70’ – 80’ Lots
3. “**Heritage**”: 90’ to 110’ Lots
4. “**Legacy**”: 110’+, approximately half acre and larger Lots

### B. Lot Types

1. “**Typical Lots**”:
  - Lots with an adjacent Lot on each side as well as behind
2. “**Cul de Sac Lots**”:
  - Lots located at the end of a non-through street and that have an adjacent Lot and/or Lots on the left and right side
3. “**Corner Lots**”:
  - Lots with an adjacent Lot on one side and a right of way on the other. Lots adjacent to an open space are not considered Corner Lots.
4. “**Parkland Lots**”:
  - Lots that back or side to the parkland
5. “**Private Trail/Open Space Lots**”:
  - Lots that back or side to a private trail or an open space

### C. Building Setbacks: The building setbacks for the Property are determined by each Lot’s specific location. Setbacks are measured from the front, side, and rear Lot lines and are determined by sidewalk placement. See Master Site Plan.

*Updated 1.22.2025*

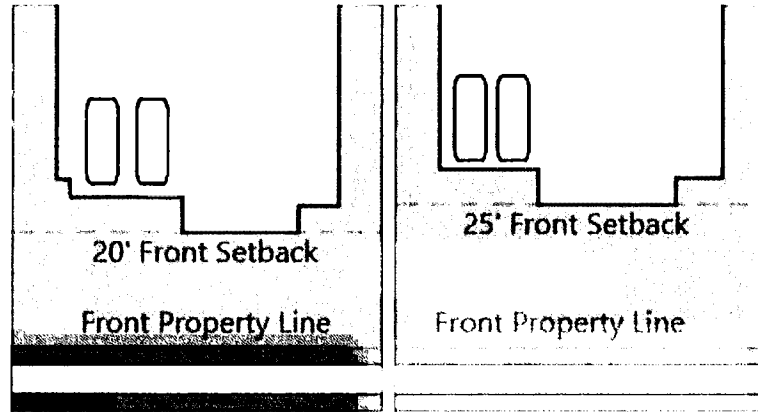
Added 1.22.2025

Founder								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation* Minimum	Interior Side	Park Trail, Open Space, Corner Side	1st Floor Rear	2nd Floor Rear
Front Facing	Typical Lot, Private Trail Lot, Open Space Lot	20' with sidewalk	25' with sidewalk	20'	5'	7.5'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk					
	Cul De Sac Lot	20' with sidewalk	25' with sidewalk	20'	5'	7.5'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk					
	Corner Lot	20' with sidewalk	25' with sidewalk	20'	5'	10'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk					
*Elevation facing the Lot line								

Founder							
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Interior Side	Park Trail, Open Space Corner Side	1st Floor Rear	2nd Floor Rear
Swing In and Side Loaded	Typical Lot, Private Trail Lot, Open Space	20' with sidewalk	25' with sidewalk	5'	7.5'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk				
	Cul De Sac Lot	20' with sidewalk	25' with sidewalk	5'	7.5'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk				
	Corner Lot	20' with sidewalk	25' with sidewalk	5'	10'	7.5'	20'
		15' with no sidewalk	20' with no sidewalk				

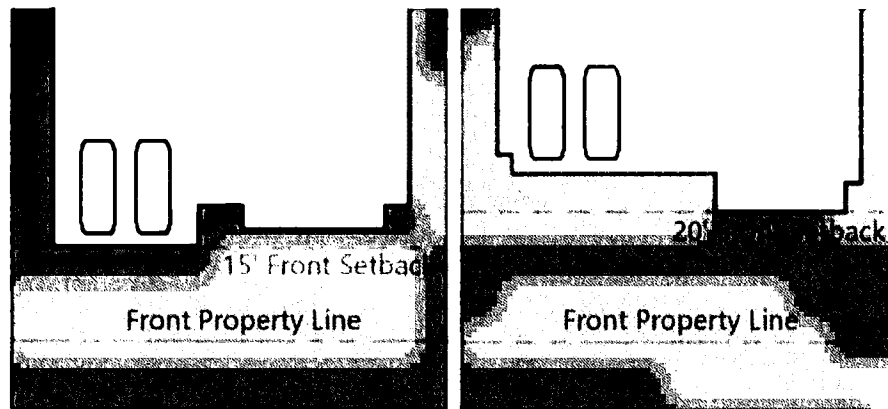
1. Founder
  - a. Typical Lots
    - i. Front Elevation:
      - a) Lots with required sidewalk:
        - 1) 20' minimum
        - 2) 25' maximum





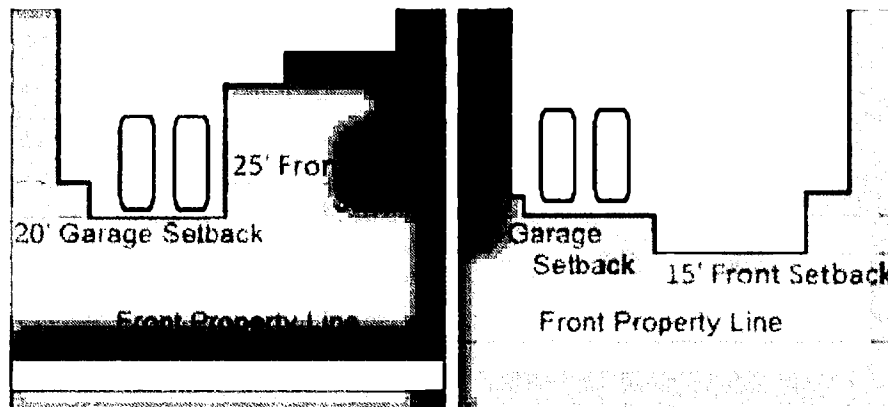
b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 20' maximum



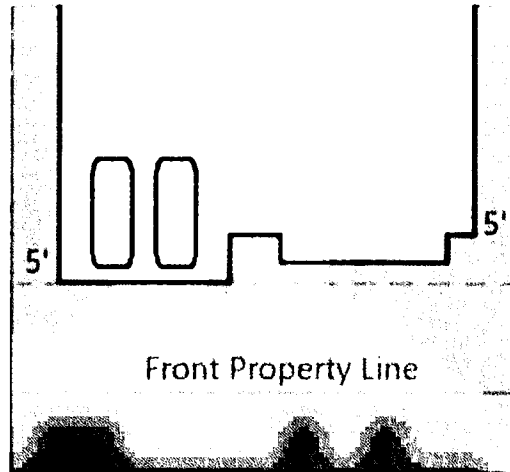
c) Garage Front Elevation: Front Facing

- 1) 20' minimum

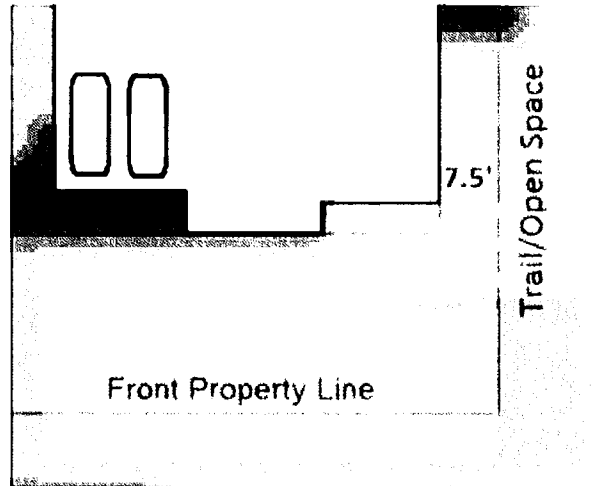


ii. Interior Side:

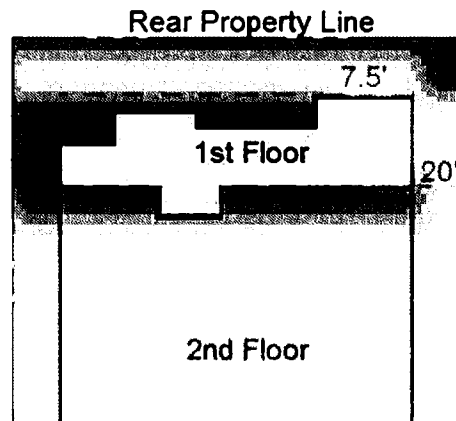
- a) 5' minimum



- iii. Private Trail/Open Space Lot Side:  
a) 7.5' minimum

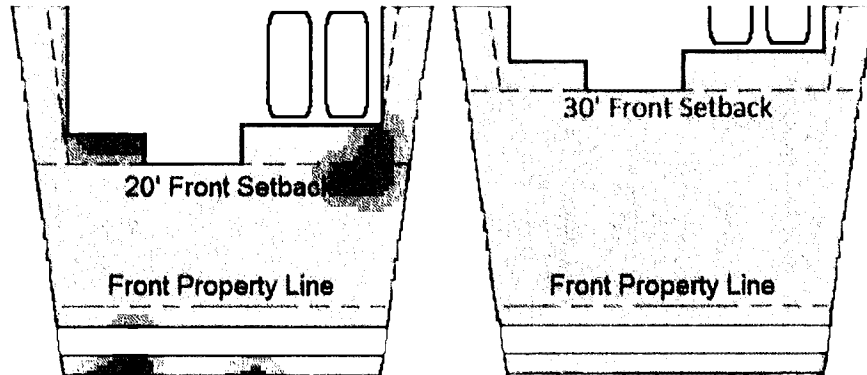


- iv. Rear:  
a) 1st floor: 7.5' minimum  
b) 2nd floor: 20' minimum

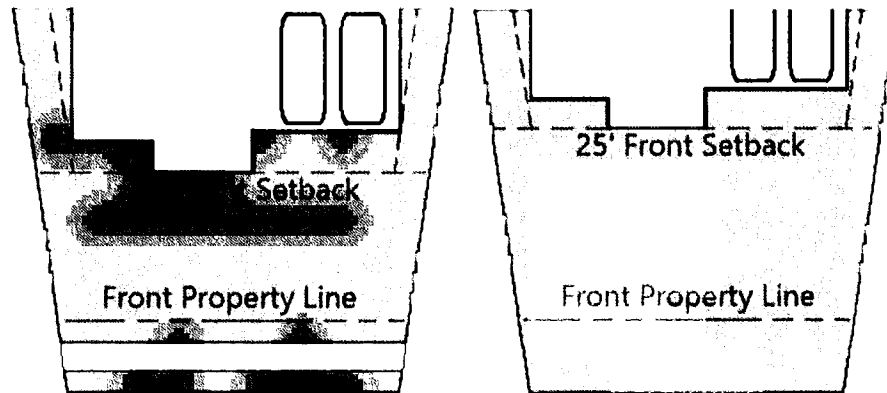


- b. Cul De Sac Lots  
i. Front Elevation:  
a) Lots with required sidewalk

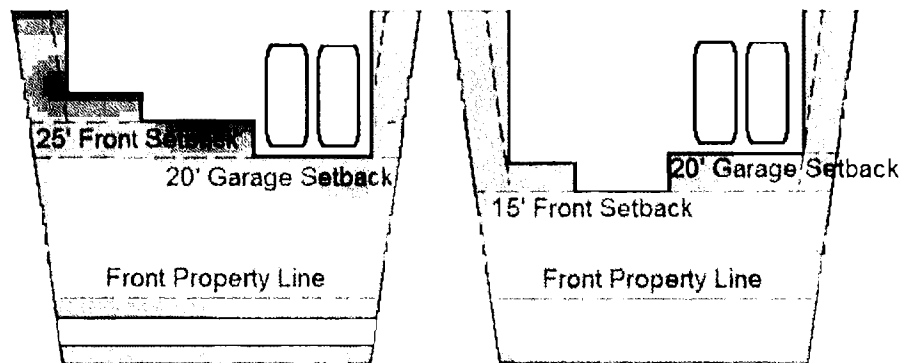
- 1) 20' minimum
- 2) 25' maximum



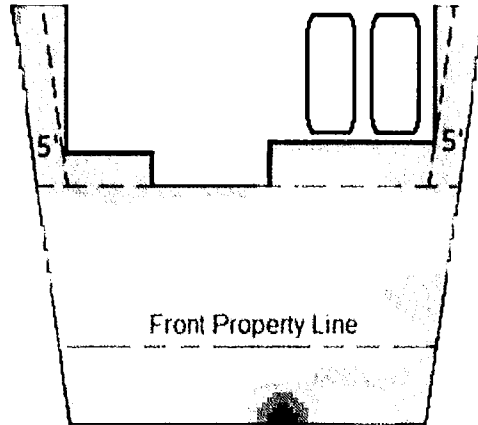
- b) Lots with no sidewalk:
- 1) 15' minimum
  - 2) 20' maximum



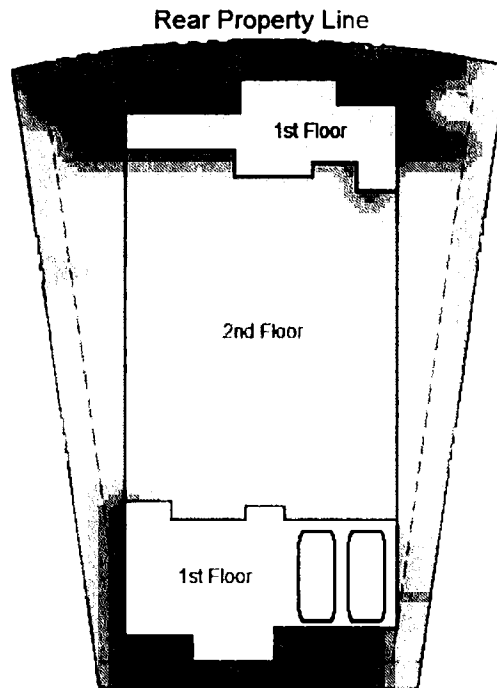
- c) Garage Front Elevation:
- 1) 20' minimum



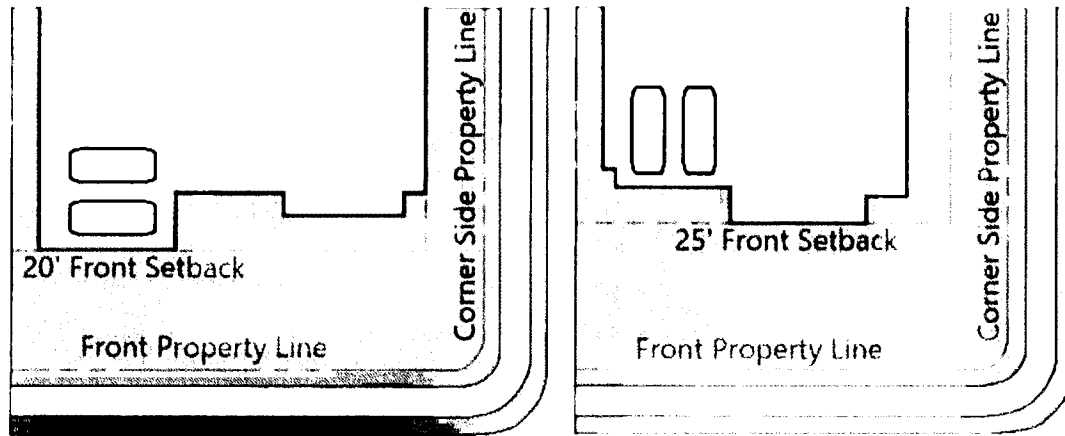
- ii. Side:
  - a) 5' minimum



- iii. Rear:
  - a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum

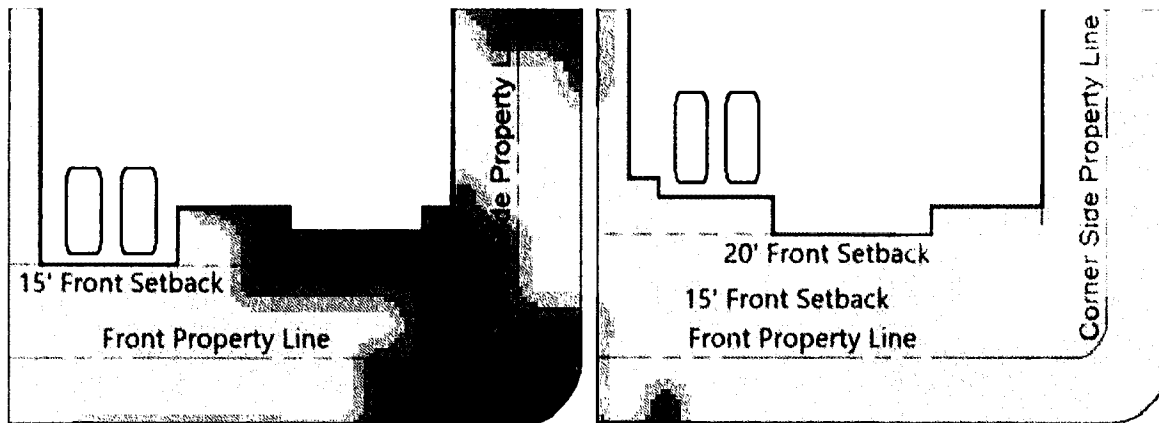


- c. Corner Lots
  - i. Front Elevation:
    - a) Lots with required sidewalk:
      - 1) 20' minimum
      - 2) 25' maximum



b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 20' maximum

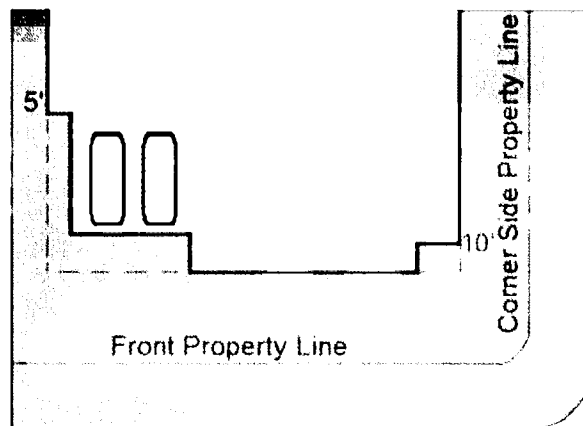


ii. Interior Side:

- a) 5' minimum

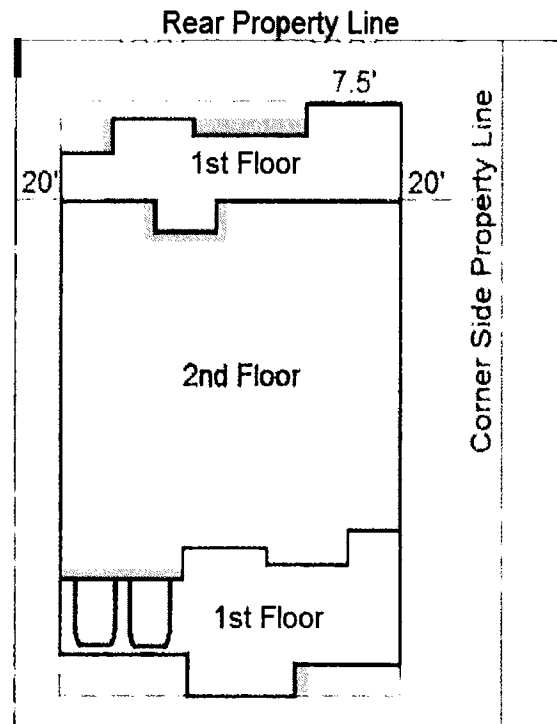
iii. Corner Side:

- a) 10' minimum



## iv. Rear:

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum



Classic								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation* Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Front Facing	Typical Lot, Private Trail Lot, Open Space Lot	23' with sidewalk	33' with sidewalk	20'	7.5'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk					
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	20'	7.5'	10'	7.5'	20'
		15' with No sidewalk	25' with no sidewalk					
	Corner Lot	23' with sidewalk	33' with sidewalk	20'	7.5'	15'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk					
*Elevation facing the Lot line								

revised 7.25.2023

Classic							
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Swing In and Side Loaded	Typical Lot, Private Trail Lot, Open Space Lot	23' with sidewalk	33' with sidewalk	7.5'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	7.5'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Corner Lot	23' with sidewalk	33' with sidewalk	7.5'	15'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				

Classic								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Detached	Typical Lot, Private Trail Lot, Open Space Lot	23' with sidewalk	33' with sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Corner Lot	23' with sidewalk	33' with sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Corner Lot: facing corner side right of way	23' with sidewalk	33' with sidewalk	20'	7.5'	15'	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					

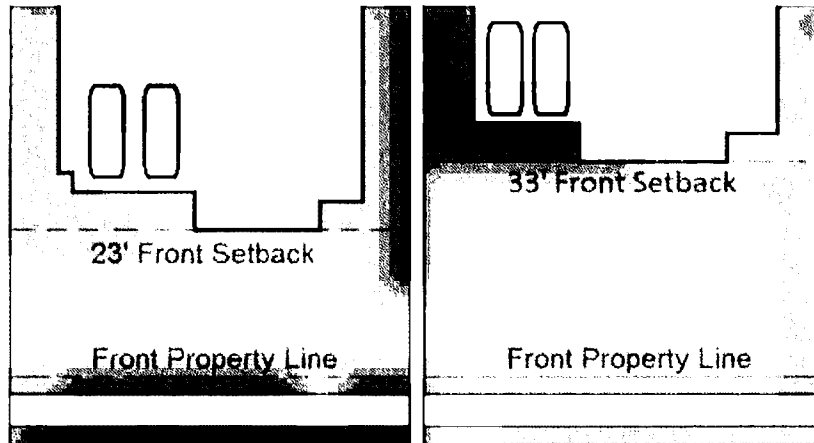
2. Classic

a. Typical Lot

i. Front Elevation:

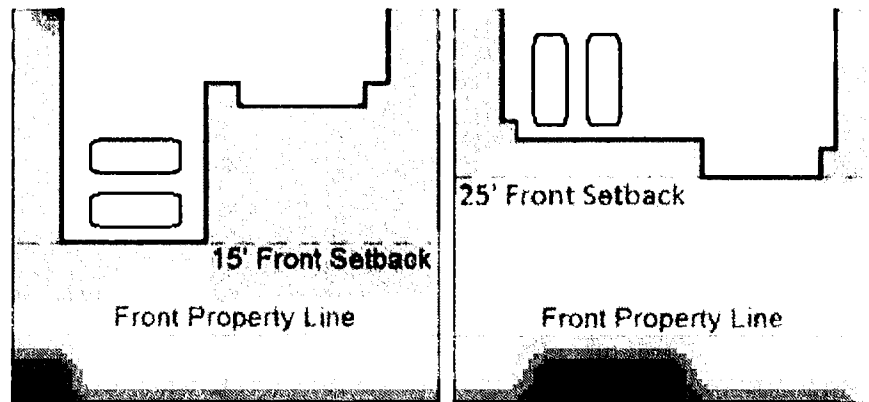
a) Lots with required sidewalk:

- 1) 23' minimum
- 2) 33' maximum



b) Lots with no sidewalk:

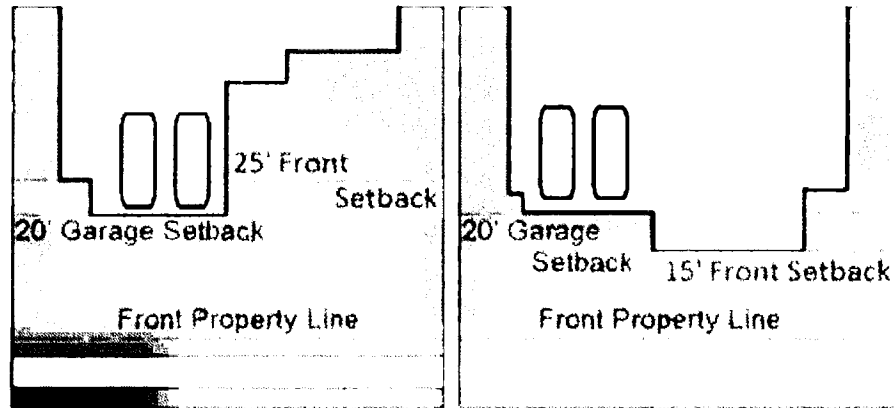
- 1) 15' minimum
- 2) 25' maximum



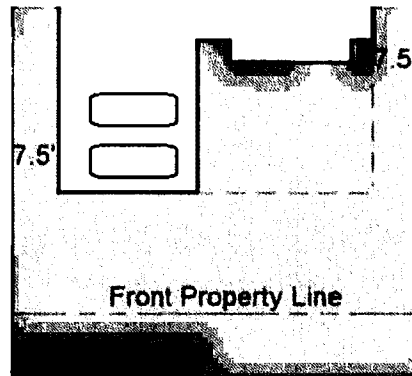
c) Garage Front Elevation: Front Facing

- 1) 20' minimum

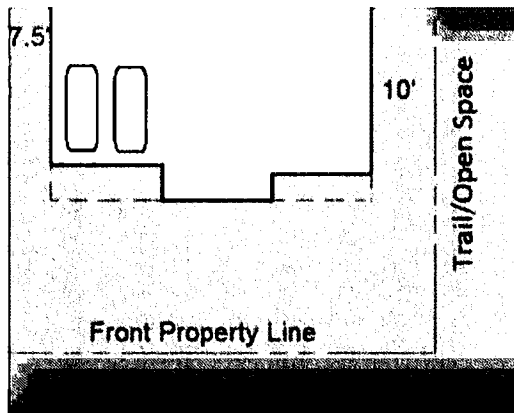




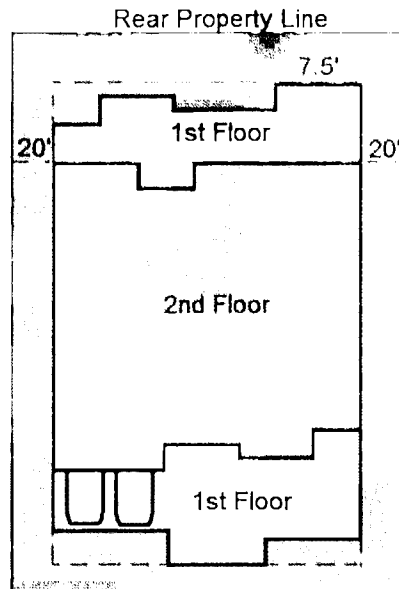
- ii. Interior Side:  
a) 7.5' minimum



- iii. Private Trail/Open Space Lot Side:  
a) 10' minimum



- iv. Rear:  
a) 1st floor: 7.5' minimum  
b) 2nd floor: 20' minimum

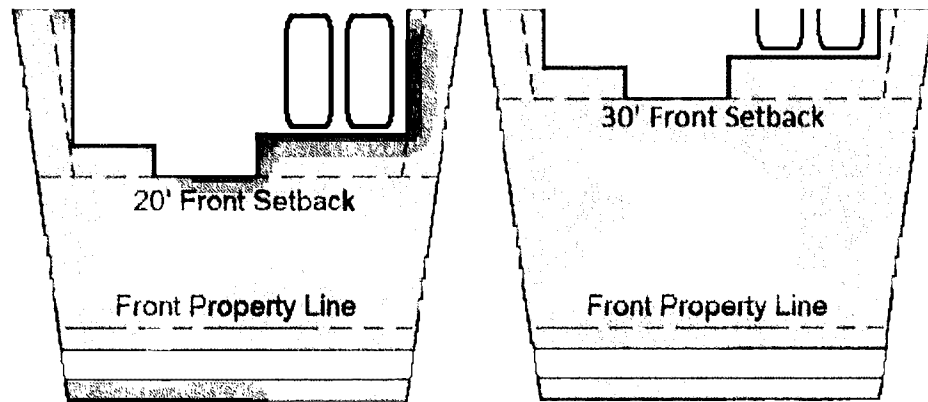


**d. Cul De Sac Lot**

**i. Front Elevation:**

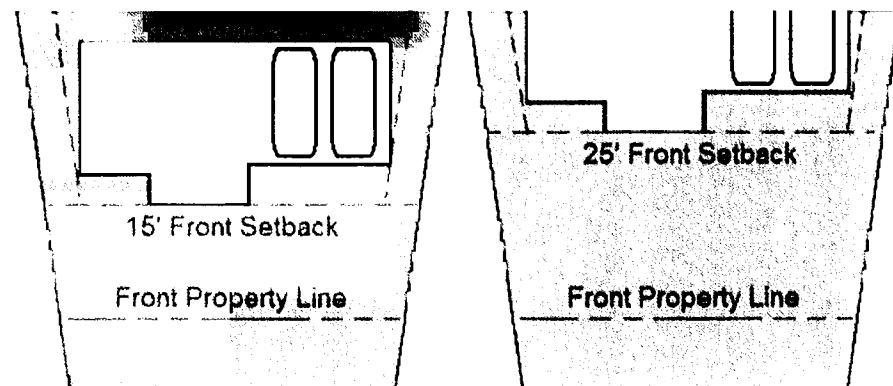
**a) Lots with required sidewalk**

- 1) 20' minimum
- 2) 30' maximum



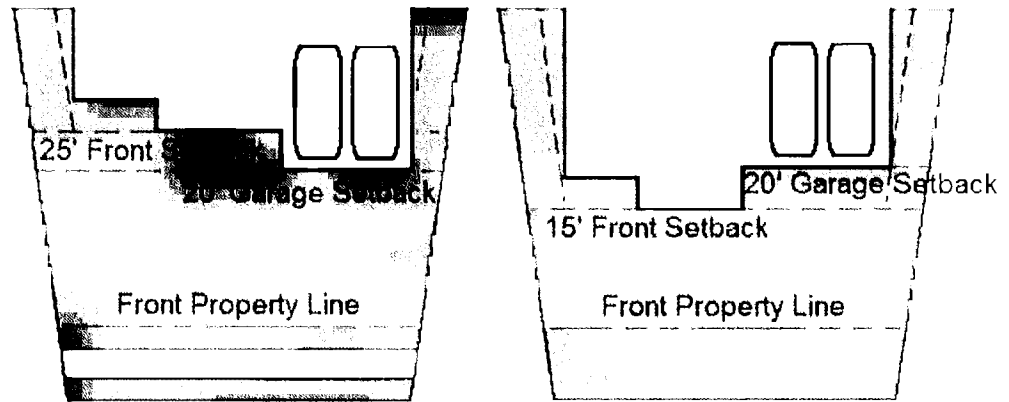
**b) Lots with no sidewalk:**

- 1) 15' minimum
- 2) 25' maximum



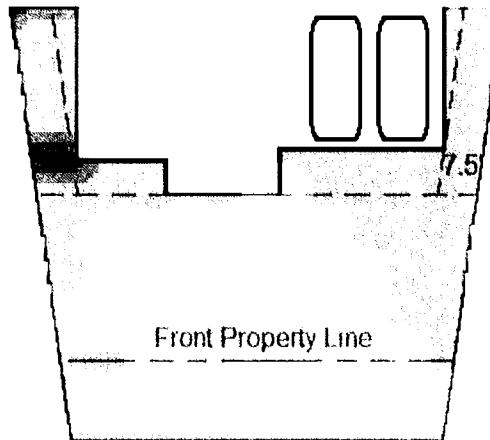
c) Garage Front Elevation:

- 1) 20' minimum



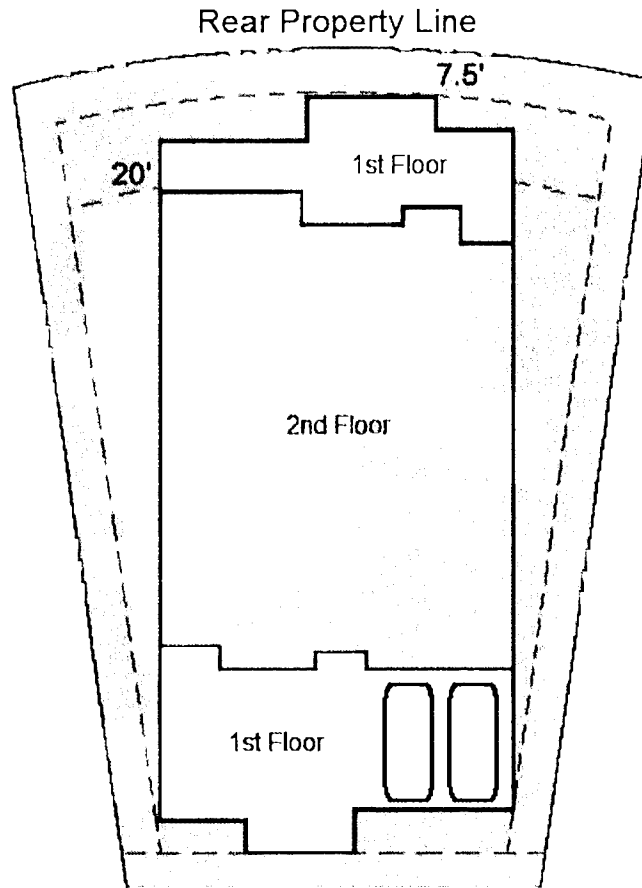
ii. Side:

- a) 7.5' minimum



iii. Rear:

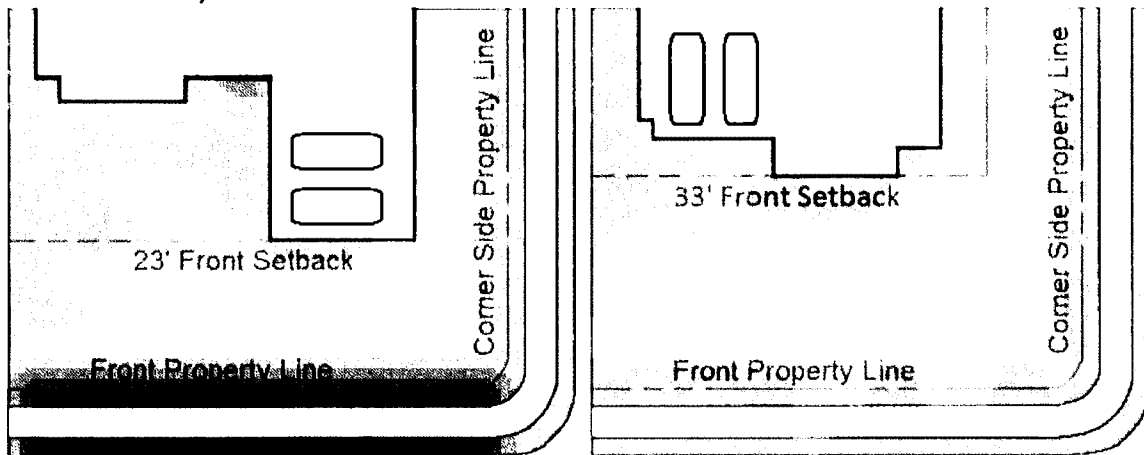
- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum



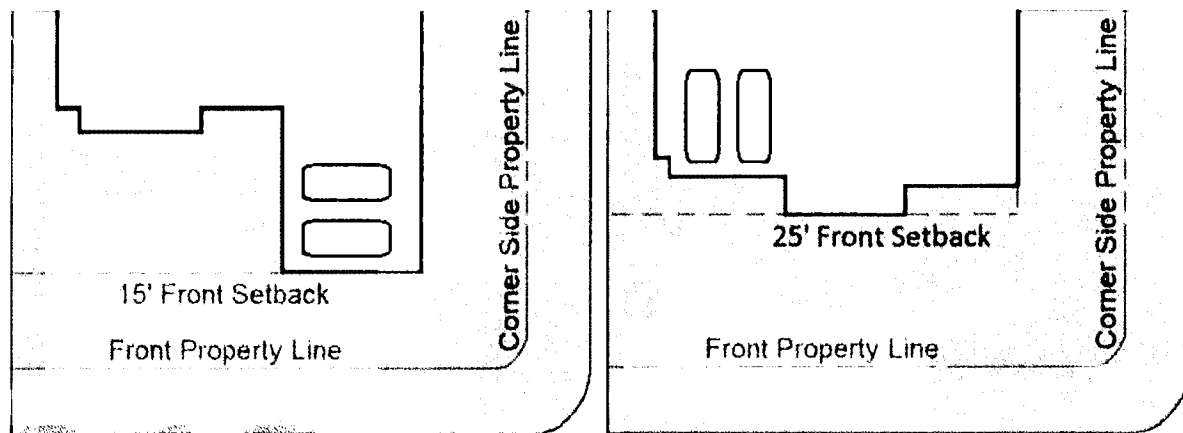
e. Corner Lot

i. Front Elevation:

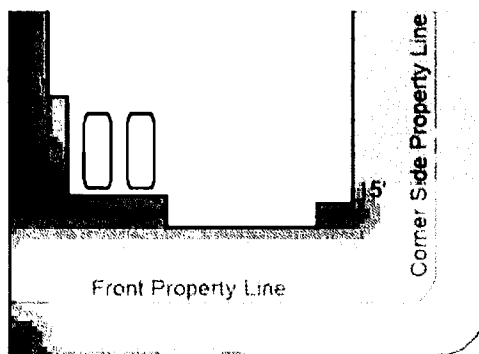
- a) Lots with required sidewalk:
  - 3) 23' minimum
  - 4) 33' maximum



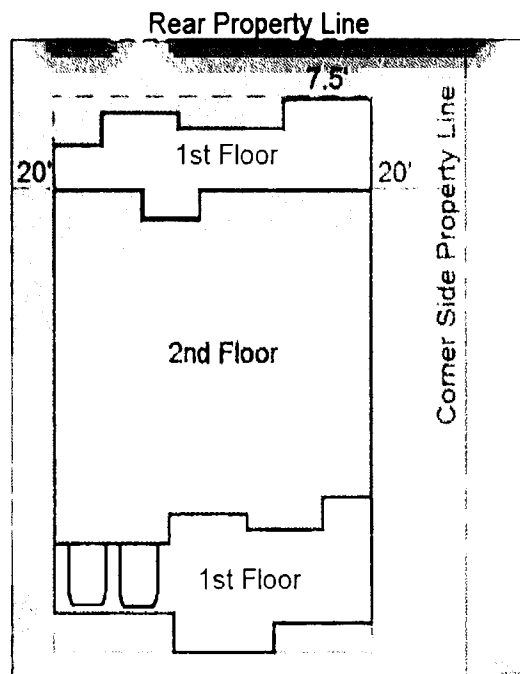
- b) Lots with no sidewalk:
  - 3) 15' minimum
  - 4) 25' maximum



- ii. Interior side:
  - a) 7.5' minimum
- iii. Corner Side:
  - a) 15' minimum



- iv. Rear:
  - a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum



Added 5.1.2021

Heritage								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Front Facing	Typical Lot	25' with sidewalk	35' with sidewalk	40' from the right of way or 20' from the closest front corner of the Dwelling.	10'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk					
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	40' from the right of way or 20' from the closest front corner of the Dwelling.	10'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk					
	Corner Lot	25' with sidewalk	35' with sidewalk	40' from the right of way or 20' from the closest front corner of the Dwelling.	10'	15'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk					

revised 7.25.2023

Heritage							
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Side Loaded and Swing-In	Typical Lot	25' with sidewalk	35' with sidewalk	10'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	10'	10'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Corner Lot	25' with sidewalk	35' with sidewalk	10'	15'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				

Heritage								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Detached	Typical Lot	25' with Sidewalk	35' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Cul De Sac Lot	20' with Sidewalk	30' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner Lot	25' with Sidewalk	35' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner Lot: facing corner side right of way	25' with Sidewalk	35' with Sidewalk	20'	7.5'	15'	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					

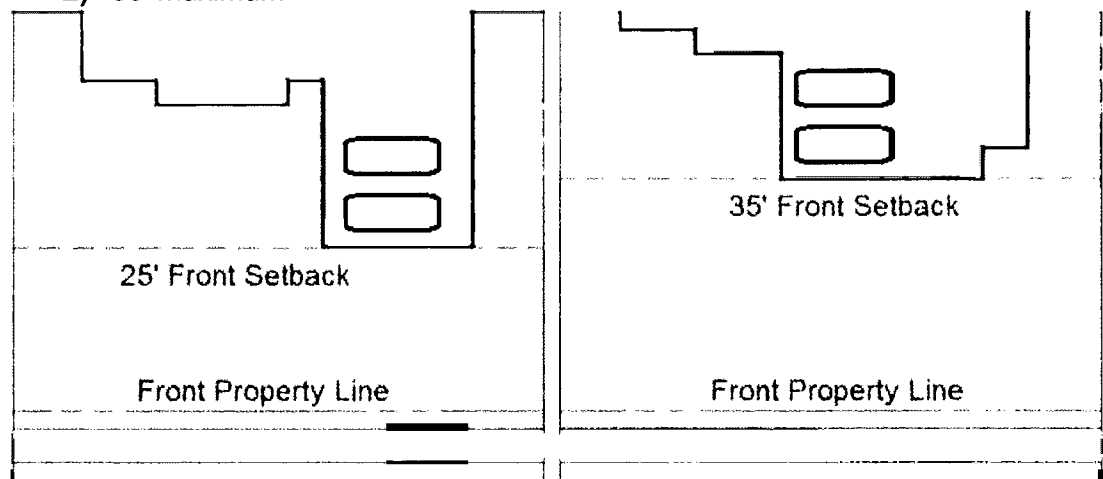
## 2. Heritage

### a. Typical Lot:

#### i. Front Elevation: side loaded and swing-in garages

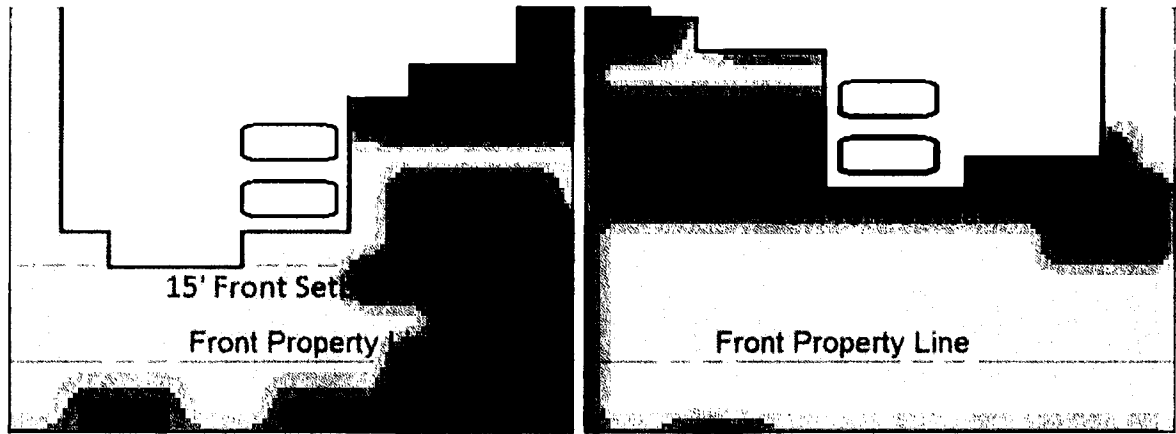
##### a) Lots with required sidewalk:

- 1) 25' minimum
- 2) 35' maximum



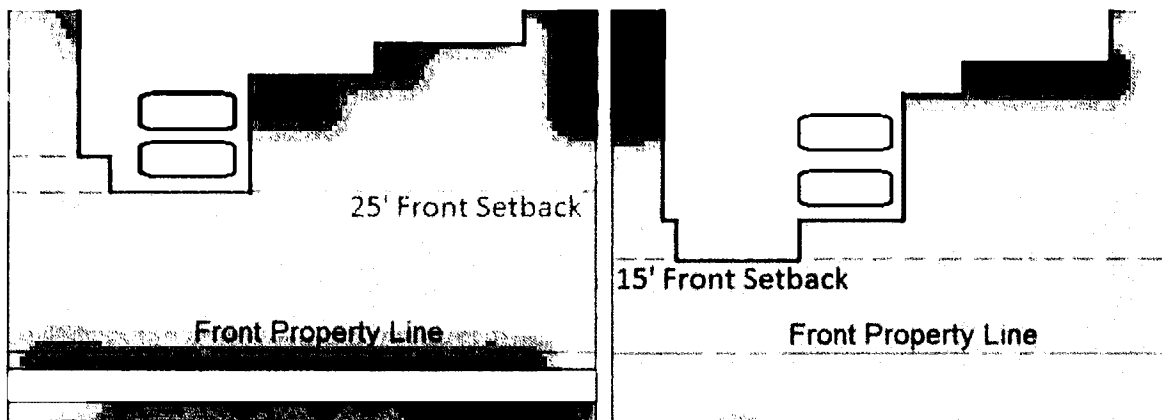
##### b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 25' maximum



c) Garage front elevation:

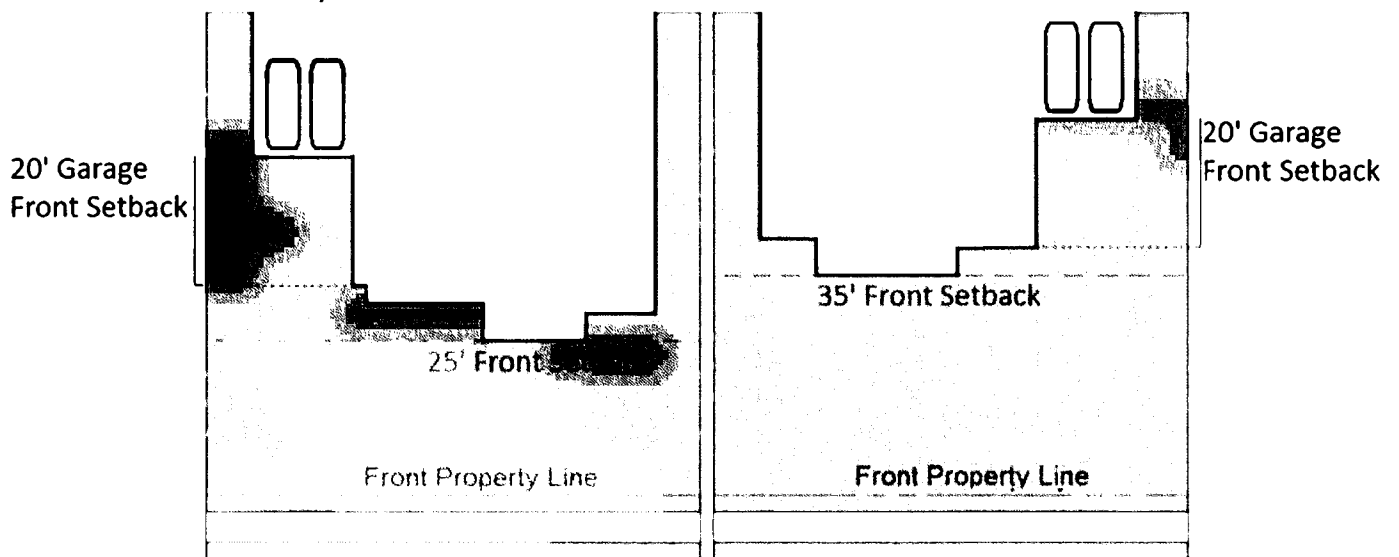
- 1) 20' minimum



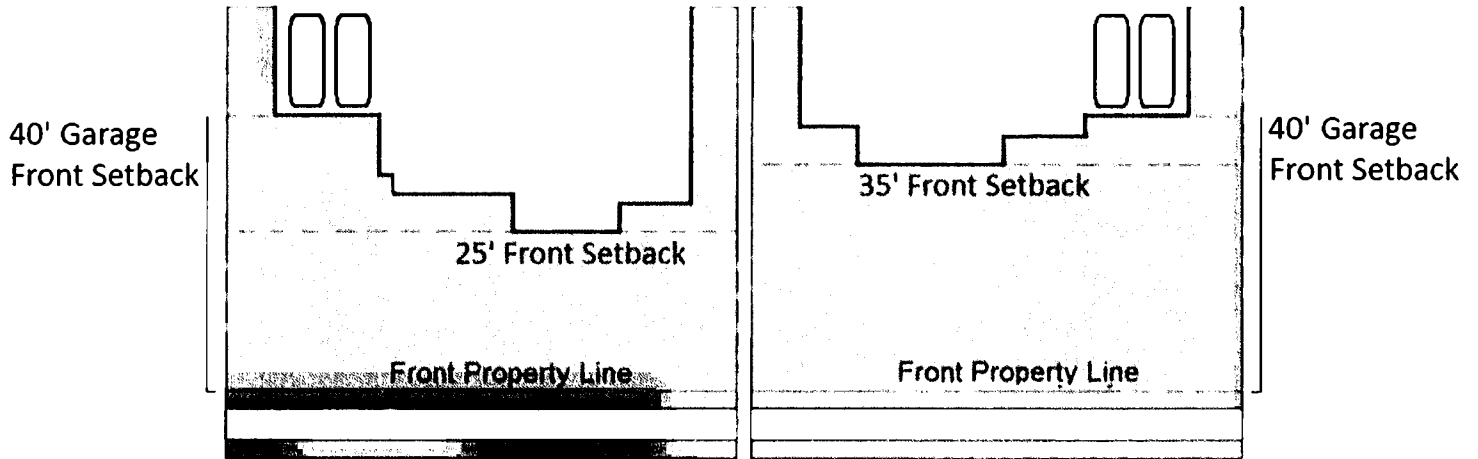
ii. Front Elevation: front facing garages

a) Lots with required sidewalk:

- 1) 25' minimum
- 2) 35' maximum

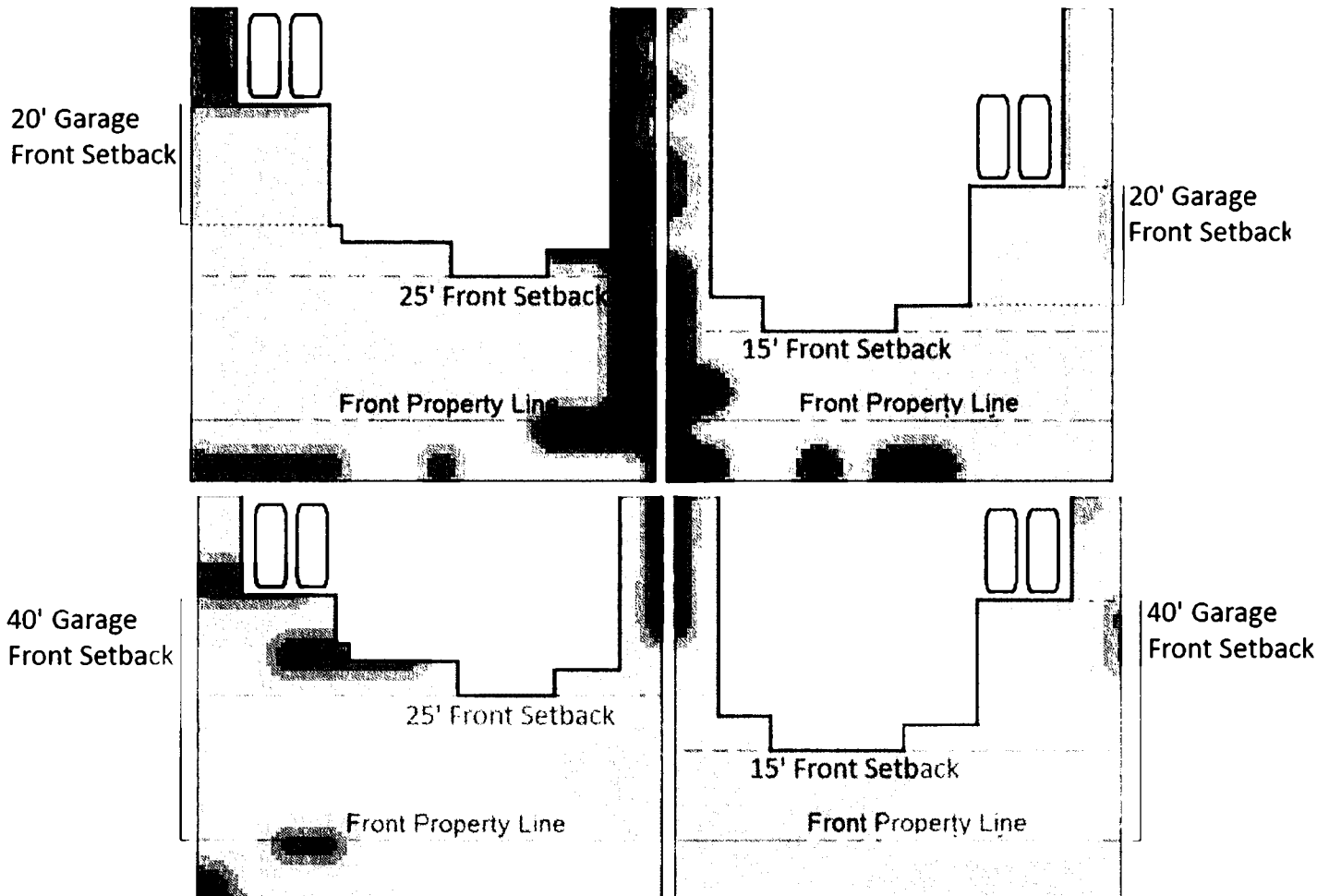






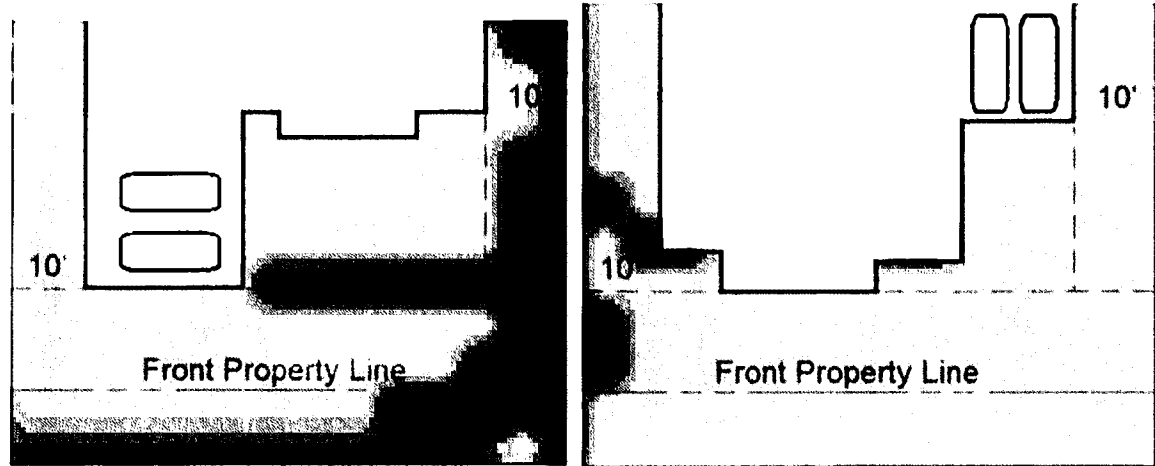
b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 25' maximum



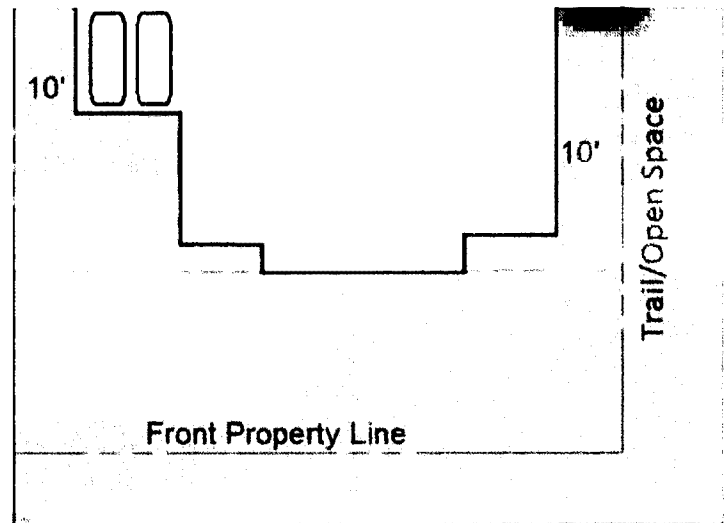
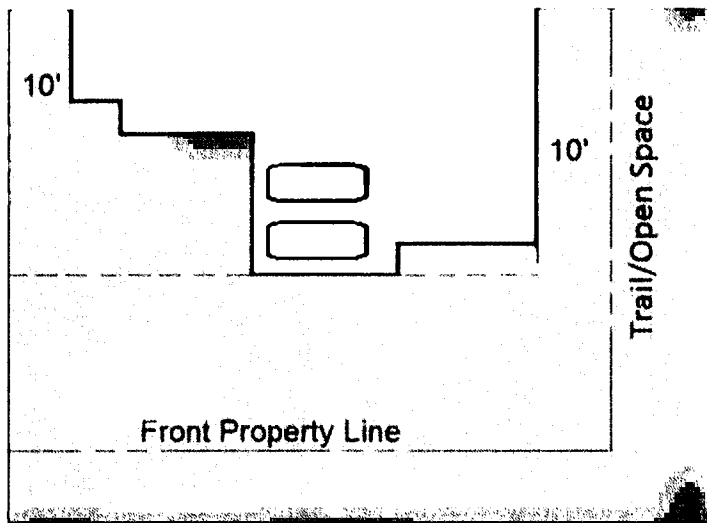
iii. Side:

- a) 10' minimum



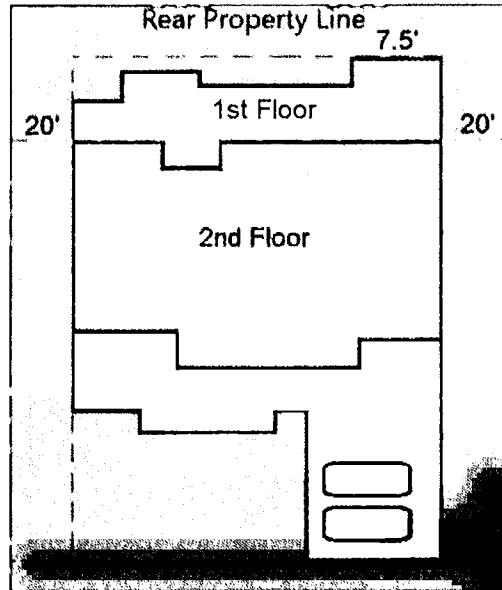
iv. Private Trail/Open Space Side:

- a) 10' minimum



v. Rear:

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum

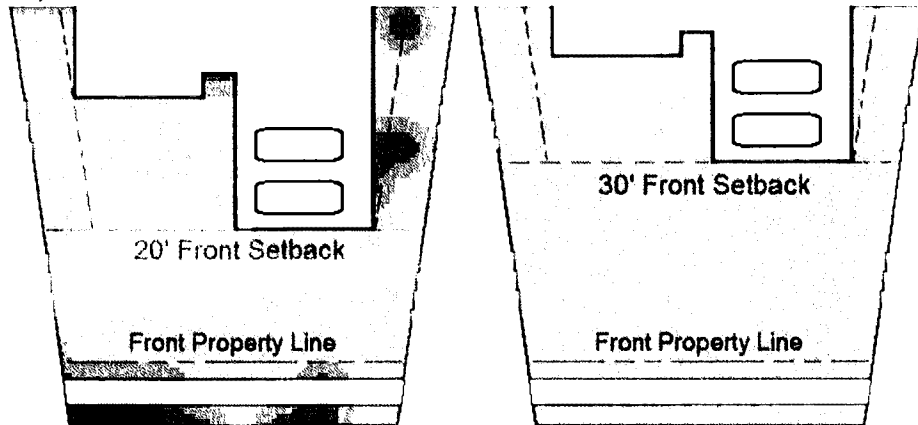


**b. Cul De Sac Lot**

**i. Front Elevation: side loaded and swing-in garages**

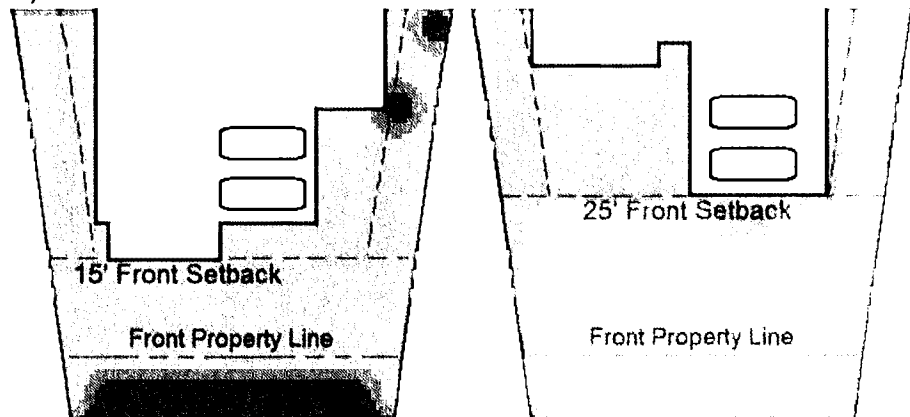
**a) Lots with required sidewalk**

- 1) 20' minimum
- 2) 30' maximum



**b) Lots with no sidewalk**

- 1) 15' minimum
- 2) 25' maximum

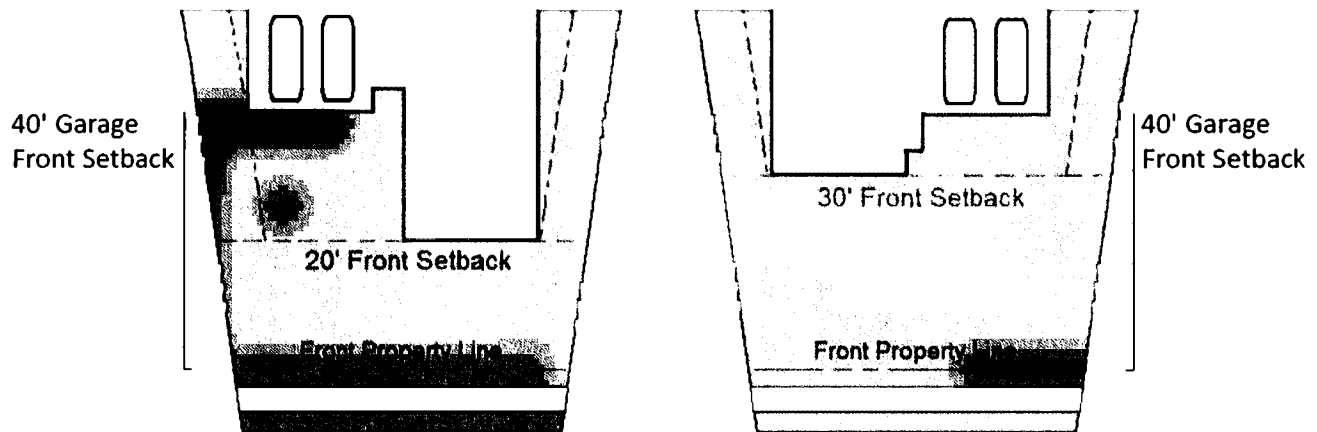
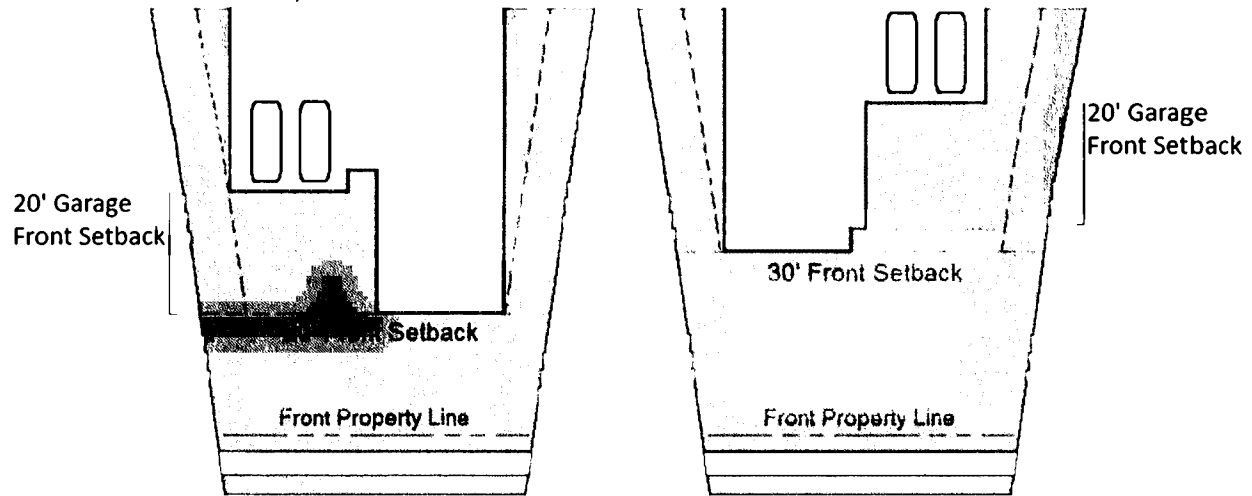


**ii. Front Elevation: front facing garages**

**a) Lots with required sidewalk**

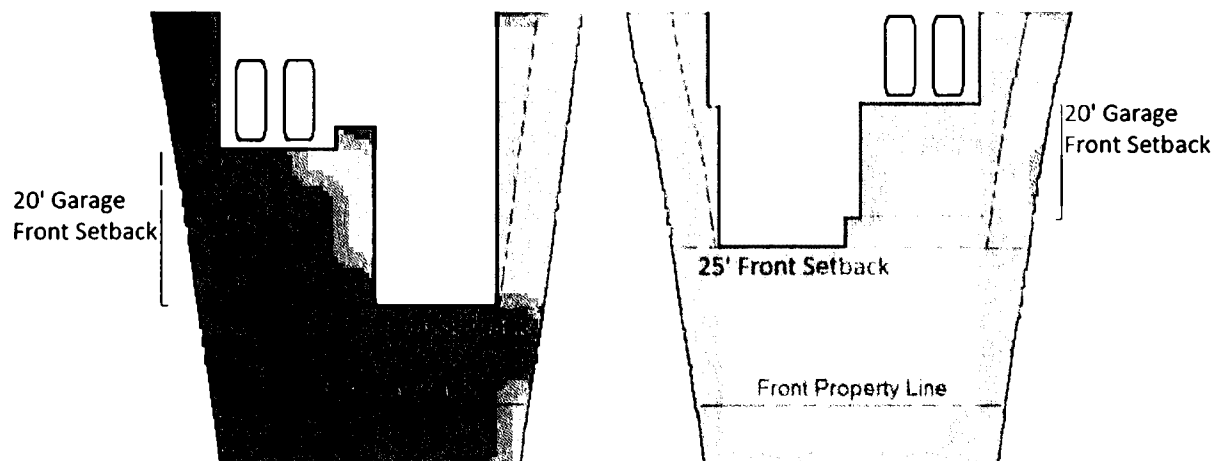
- 1) 20' minimum

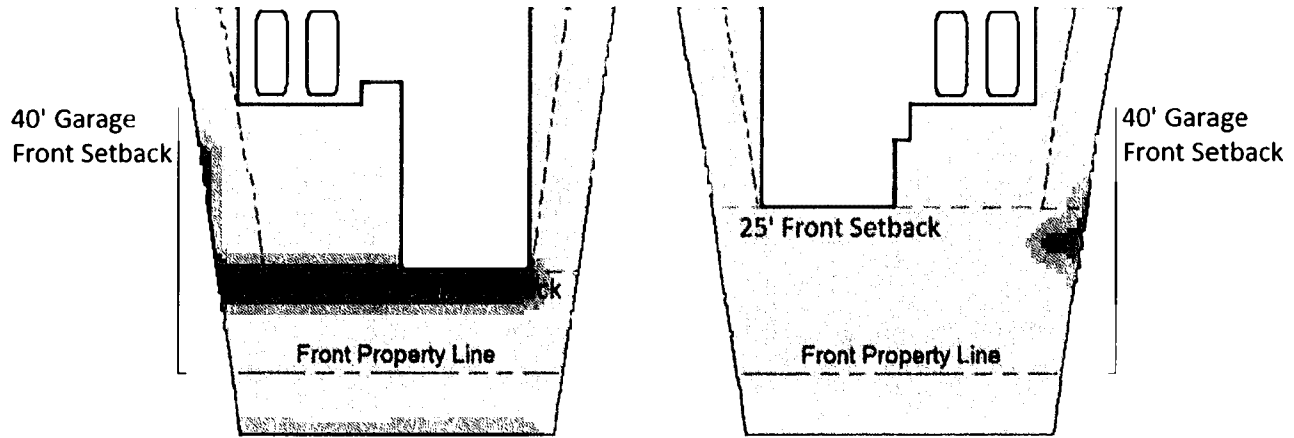
2) 30' maximum



b) Lots with no sidewalk

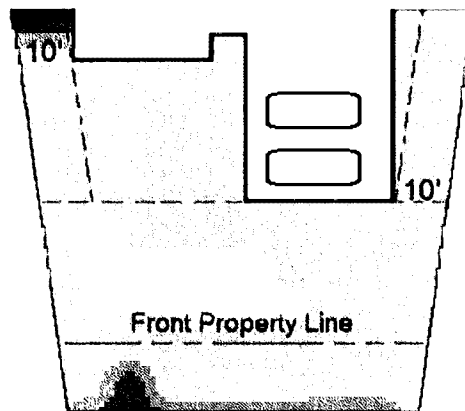
- 1) 15' minimum
- 2) 25' maximum





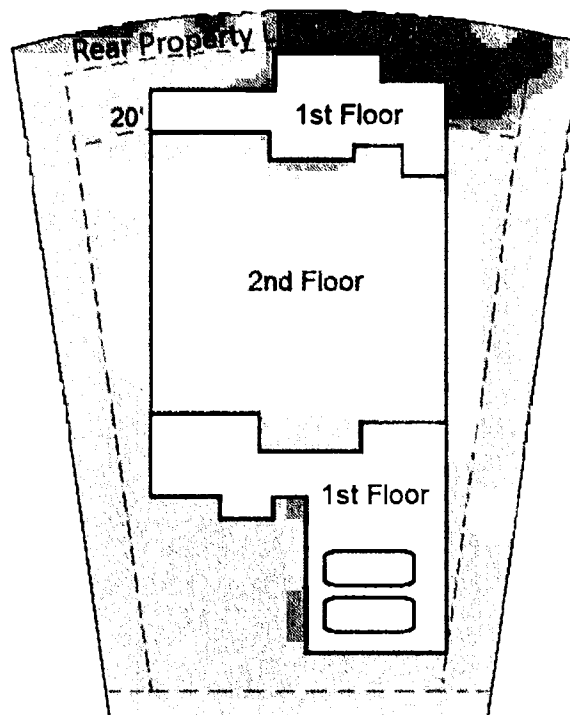
iii. Side:

- a) 10' minimum



iv. Rear

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum

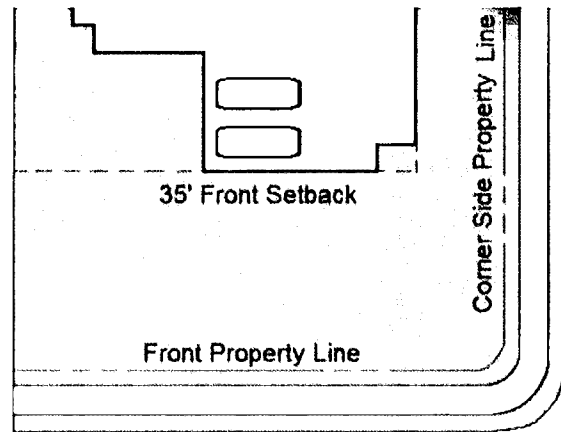
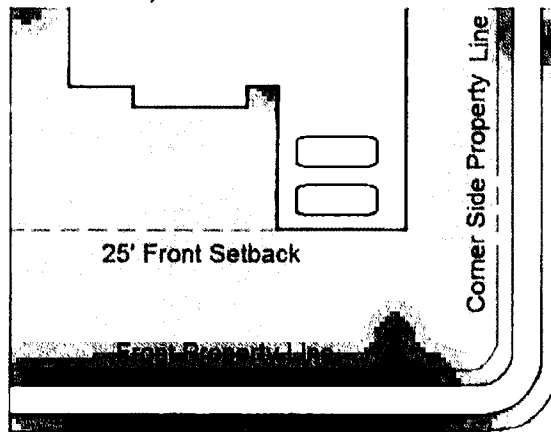


c. Corner Lot

i. Front Elevation: side loaded and swing-in garages

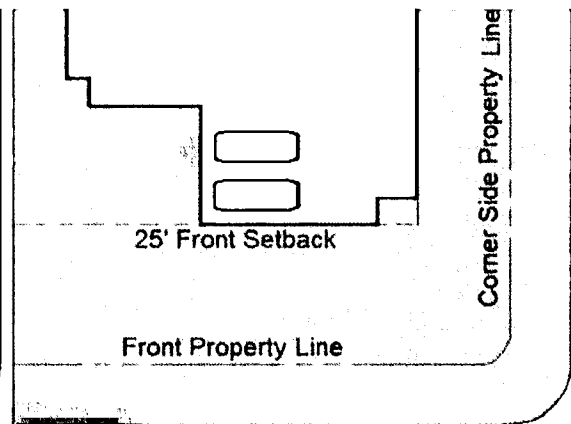
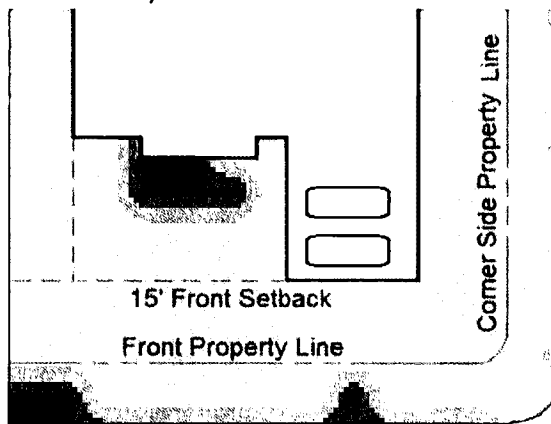
a) Lots with required sidewalk:

- 1) 25' minimum
- 2) 35' maximum



b) Lots with no sidewalk:

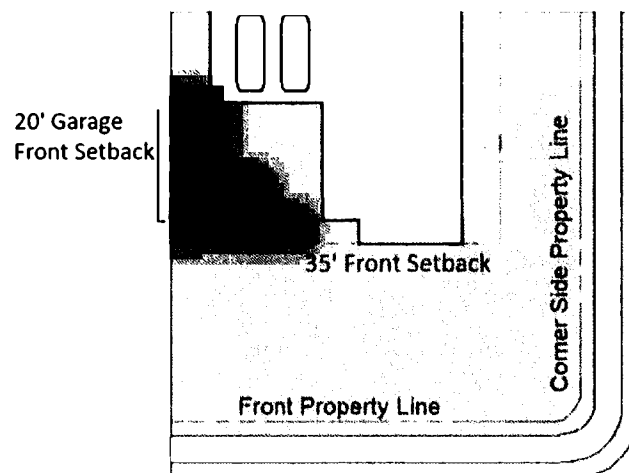
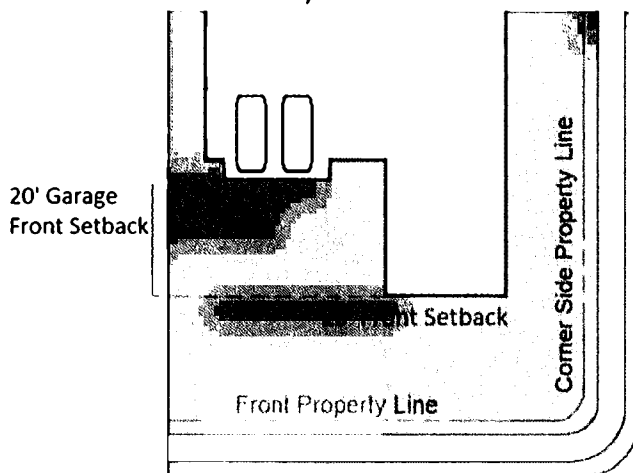
- 1) 15' minimum
- 2) 25' maximum

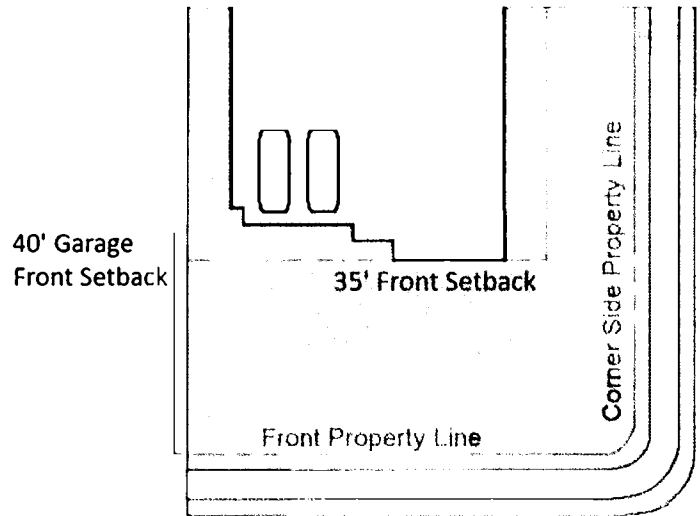
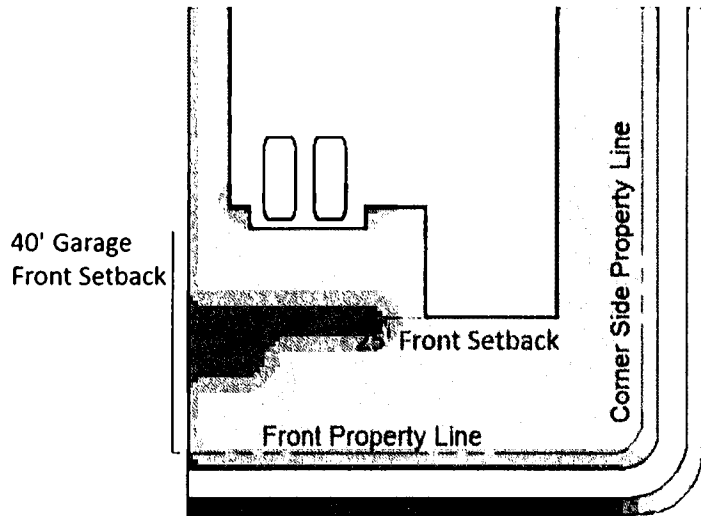


ii. Front Elevation: front facing garages

a) Lots with required sidewalk:

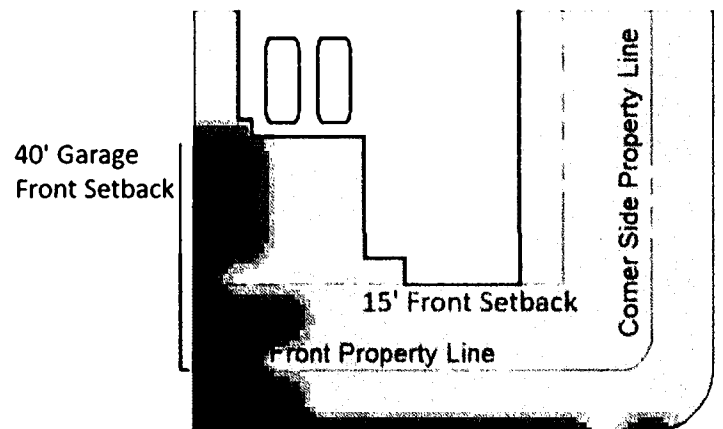
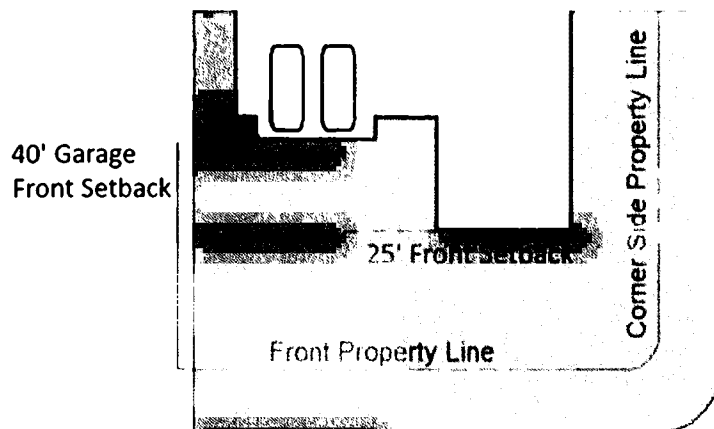
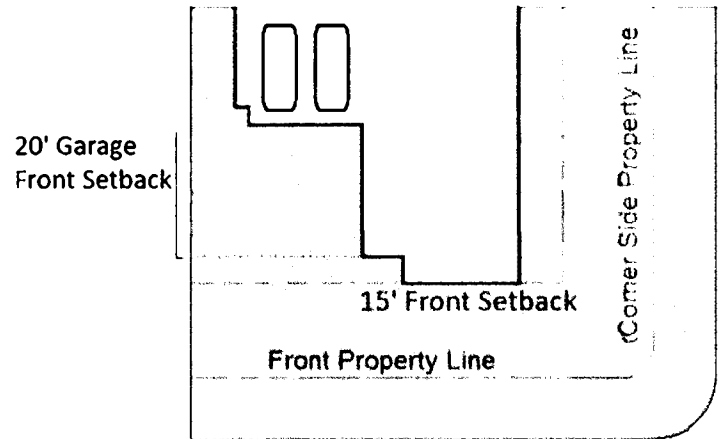
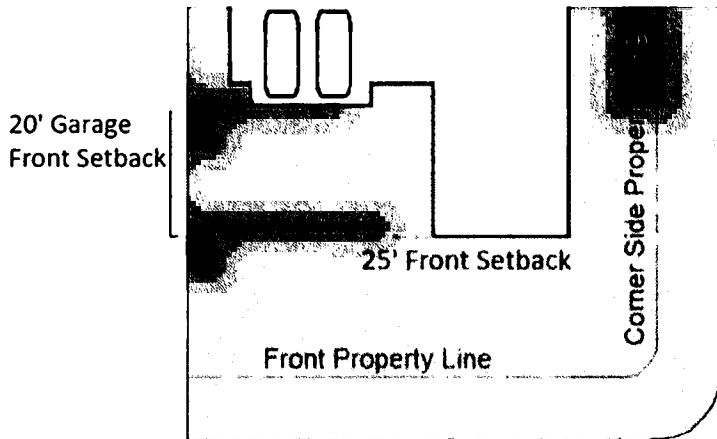
- 1) 25' minimum
- 2) 35' maximum



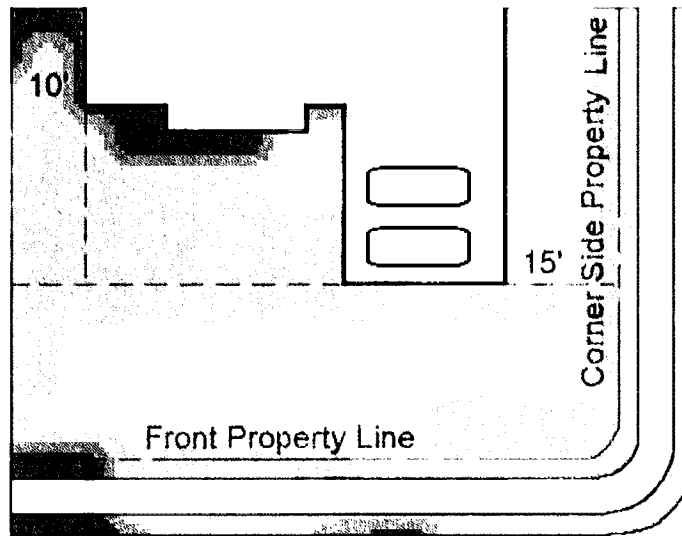


b) Lots with no sidewalk:

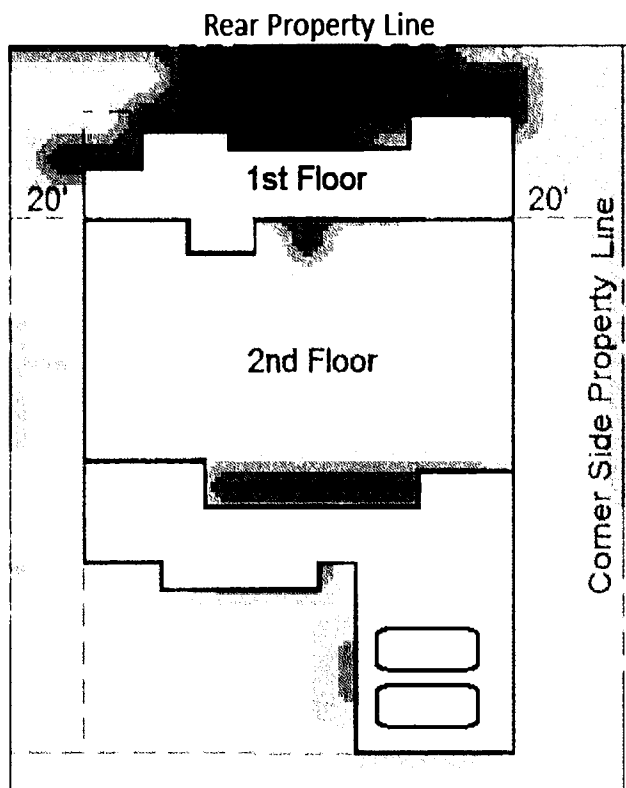
- 1) 15' minimum
- 2) 25' maximum



- ii. Interior Side:
  - a) 10' minimum
- iii. Corner Side:
  - a) 15' minimum



- iv. Rear:
  - a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum





revised 7.25.2023

Legacy							
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Side Loaded and Swing-In	Typical Lot	25' with sidewalk	35' with sidewalk	15'	20'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	15'	20'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				
	Corner Lot	25' with sidewalk	35' with sidewalk	15'	20'	7.5'	20'
		15' with no sidewalk	25' with no sidewalk				

Legacy								
Garage Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
Detached	Typical Lot	25' with sidewalk	35' with sidewalk	60'	15'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Cul De Sac Lot	20' with sidewalk	30' with sidewalk	60'	15'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Corner Lot	25' with sidewalk	35' with sidewalk	60'	15'	Prohibited	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					
	Corner Lot: facing corner side right of way	25' with sidewalk	35' with sidewalk	20'	15'	20'	7.5'	NA
		15' with no sidewalk	25' with no sidewalk					

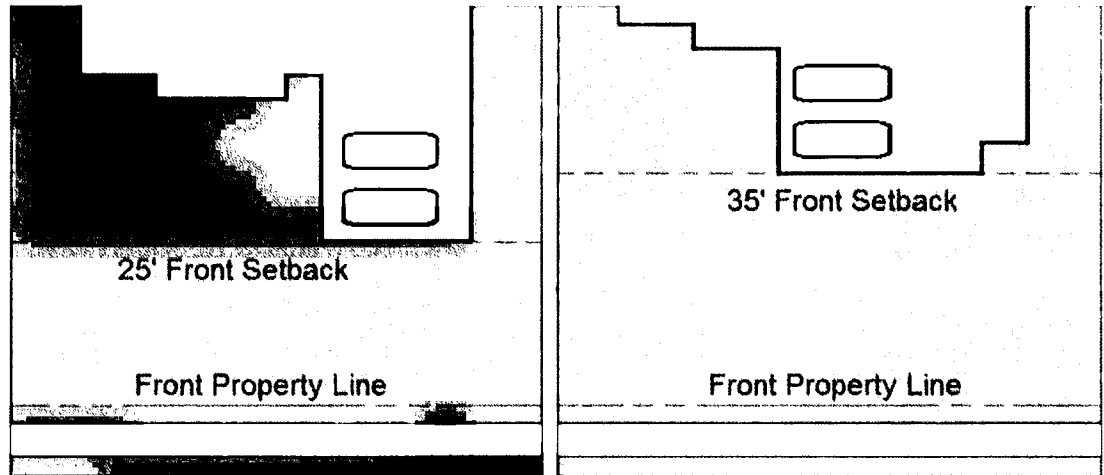
### 3. Legacy

#### a. Typical Lot

##### i. Front Elevation:

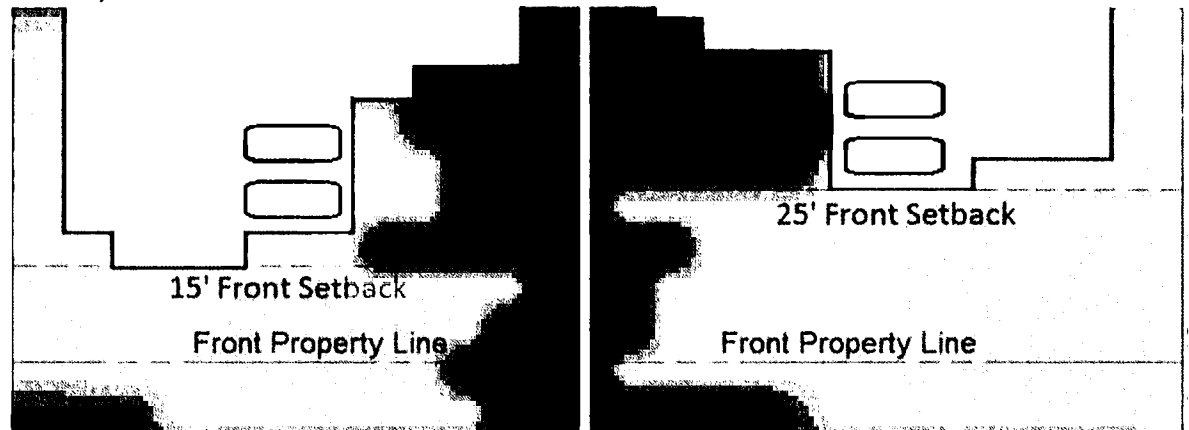
##### a) Lots with required sidewalk:

- 1) 25' minimum
- 2) 35' maximum



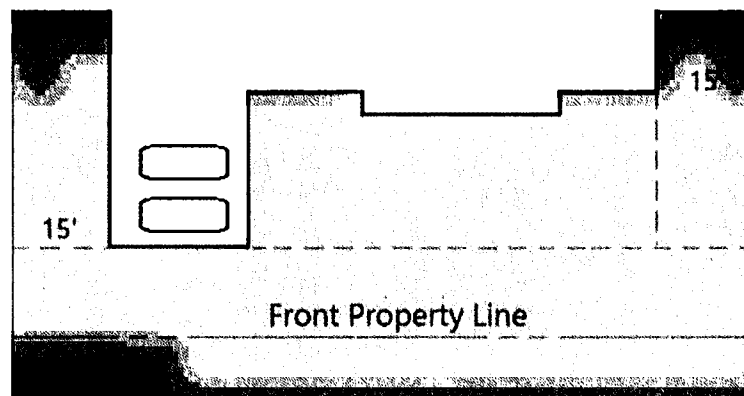
##### b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 25' maximum



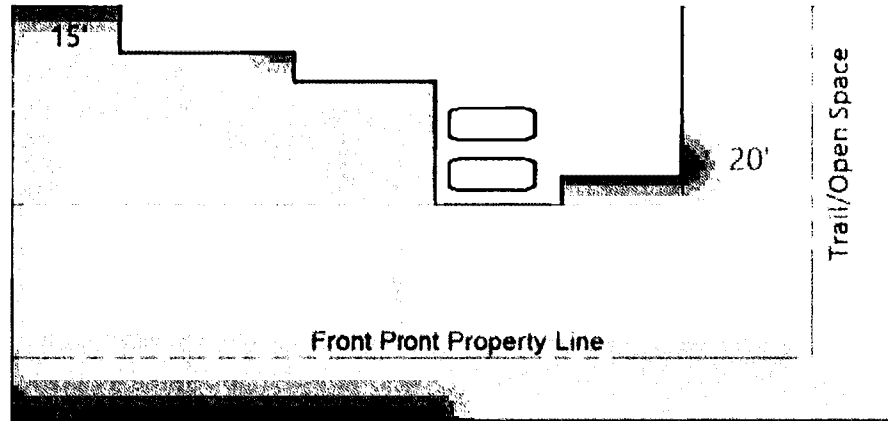
##### ii. Side: *updated 10.13.2024*

##### a) 15' minimum



i. Private Trail/Open Space Side: *updated 10.13.2024*

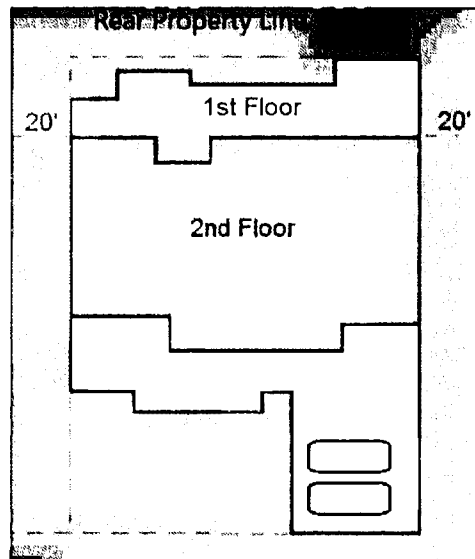
a) 20' minimum



ii. Rear:

a) 1st floor: 7.5' minimum

b) 2nd floor: 20' minimum



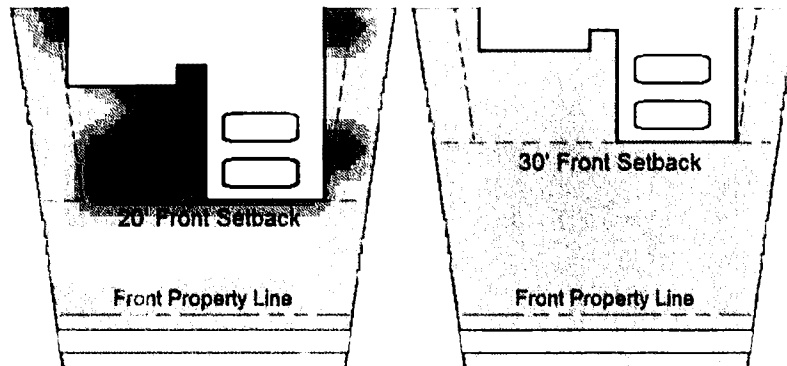
b. Cul De Sac Lot

i. Front Elevation:

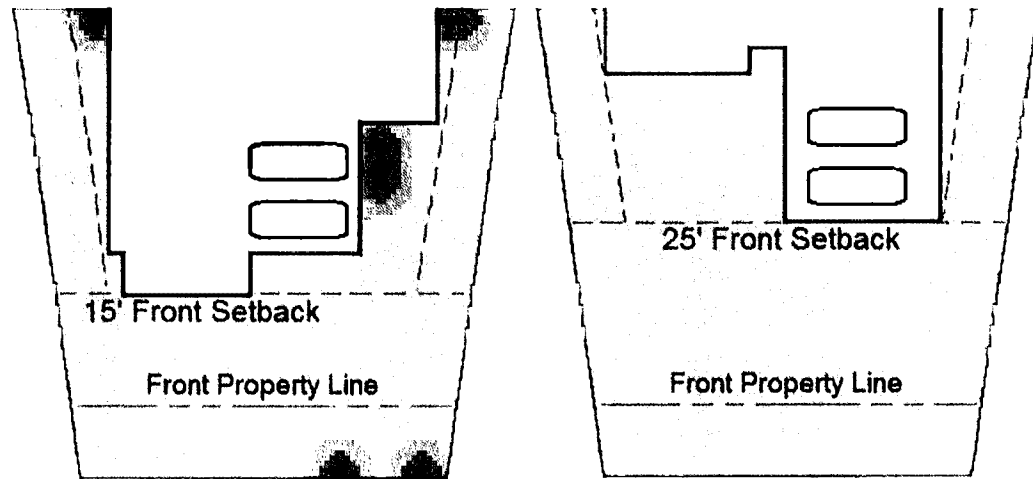
a) Lots with required sidewalk

1) 20' minimum

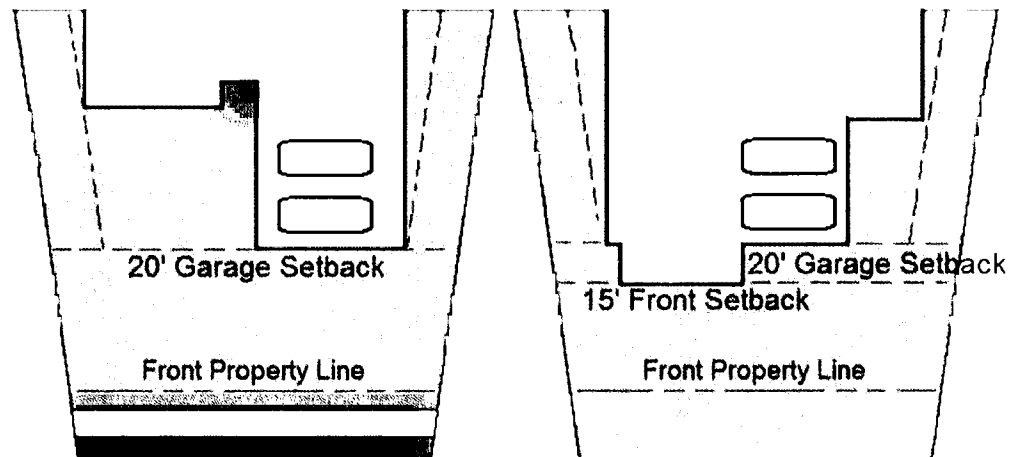
2) 30' maximum



- b) Lots with no sidewalk
- 1) 15' minimum
  - 2) 25' maximum

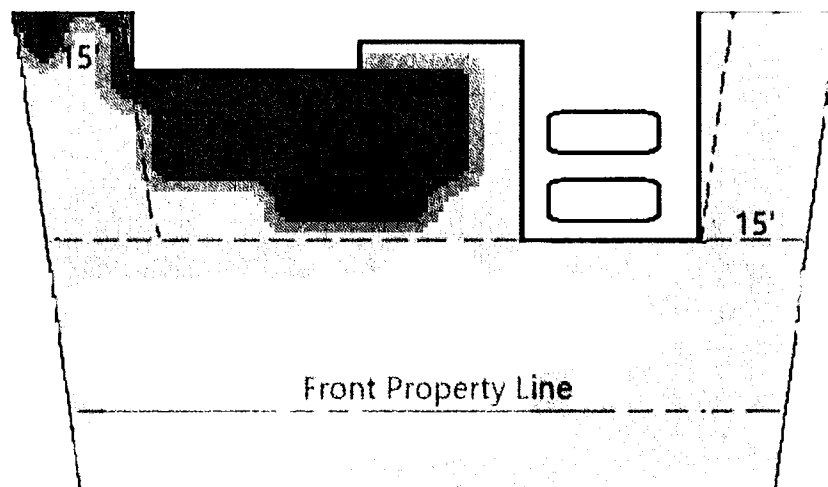


- c) Garage Front Elevation
- 1) 20' minimum

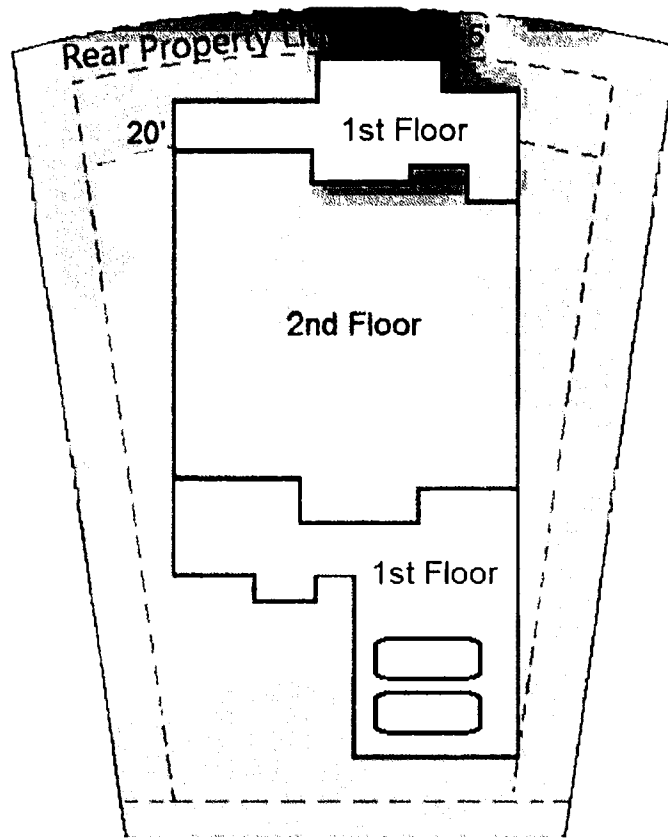


iii. Side: *updated 10.13.2024*

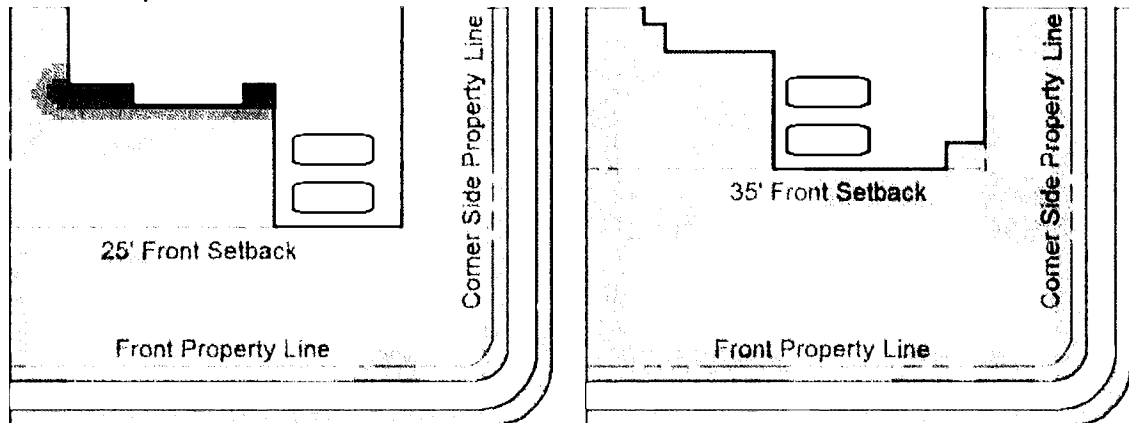
- a) 15' minimum



- ii. Rear
  - a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum

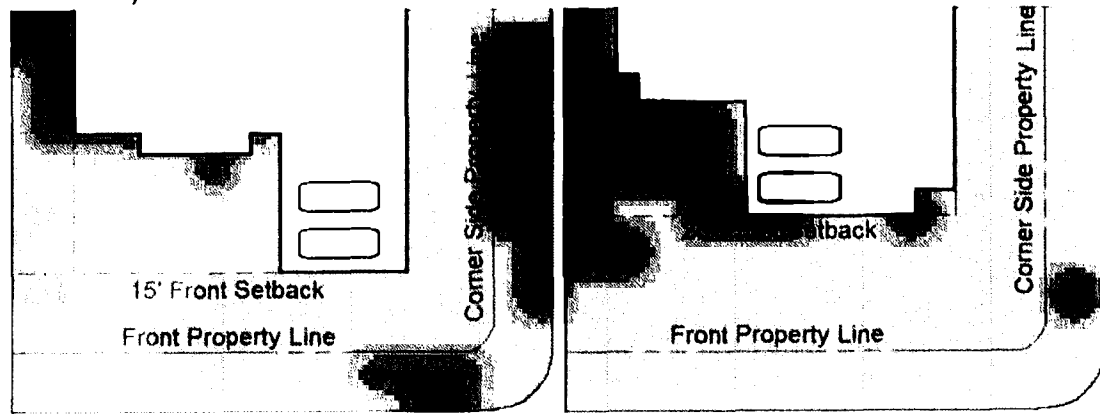


- c. Corner Lot
  - i. Front Elevation:
    - a) Lots with required sidewalk:
      - 1) 25' minimum
      - 2) 35' maximum



b) Lots with no sidewalk:

- 1) 15' minimum
- 2) 25' maximum

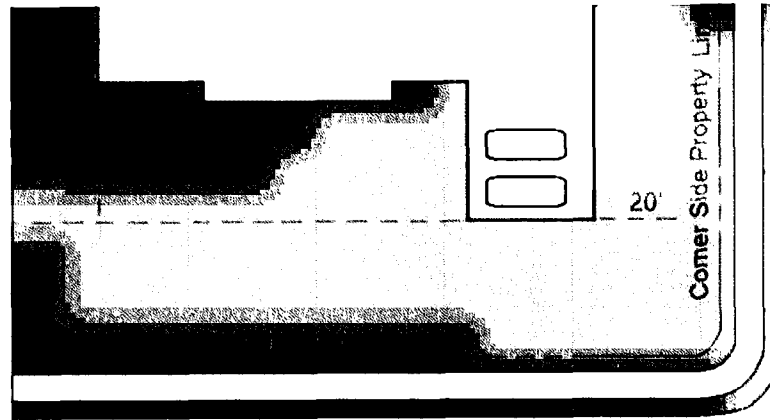


iv. Interior Side: *updated 10.13.2024*

- a) 15' minimum

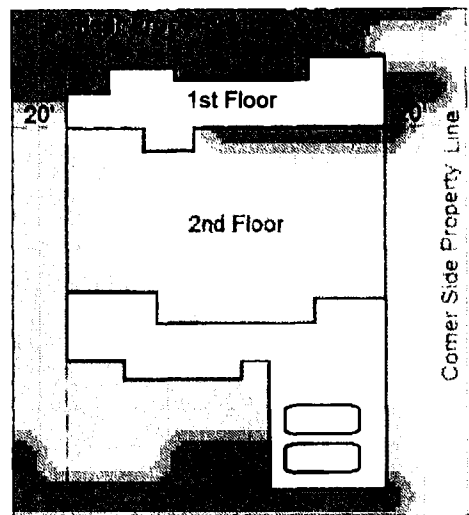
v. Corner Side: *updated 10.13.2024*

- a) 20' minimum



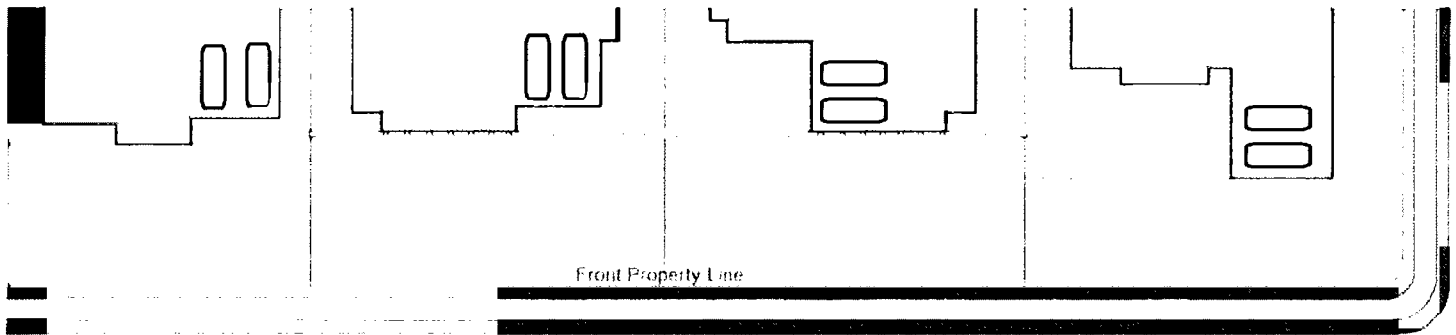
ii. Rear:

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum



#### D. Front Elevation Off-Set

1. Front elevation setbacks must be off-set from 1 or more adjacent Lots.
  - a. A minimum off-set of 2' from the front elevation of the adjacent Lot is required.
  - b. No more than 2 consecutive Lots may be on the same front setback.

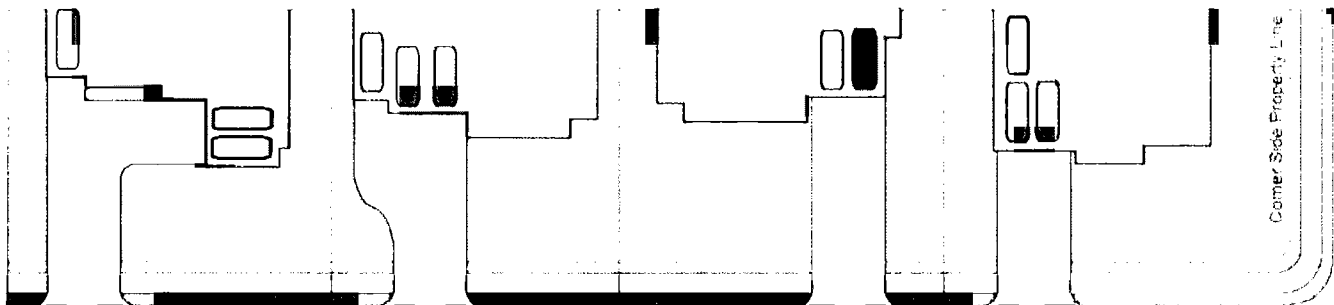


#### E. Lot Consolidation *updated 1.22.2025*

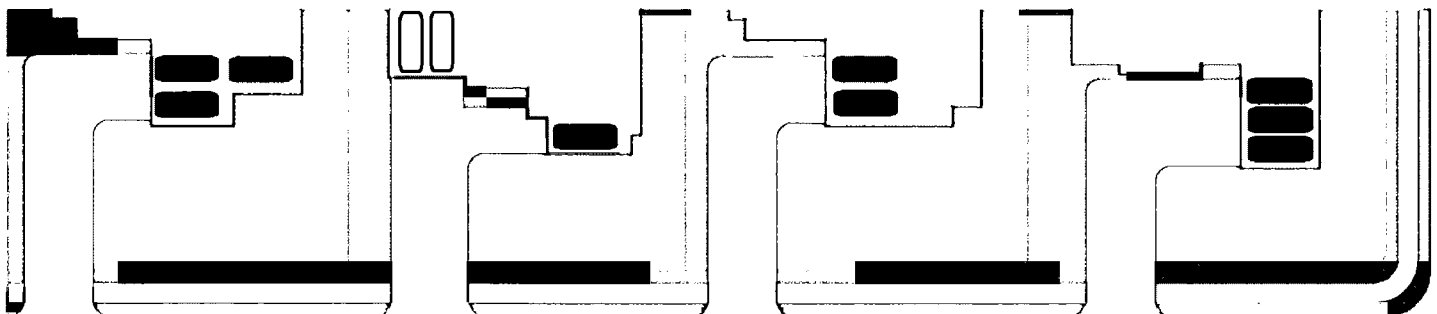
1. Allowed with the prior written approval of the ARC.

#### F. Garages: *revised 11.1.2020, revised 5.1.2021, revised 7.25.2023, updated 1.22.2025*

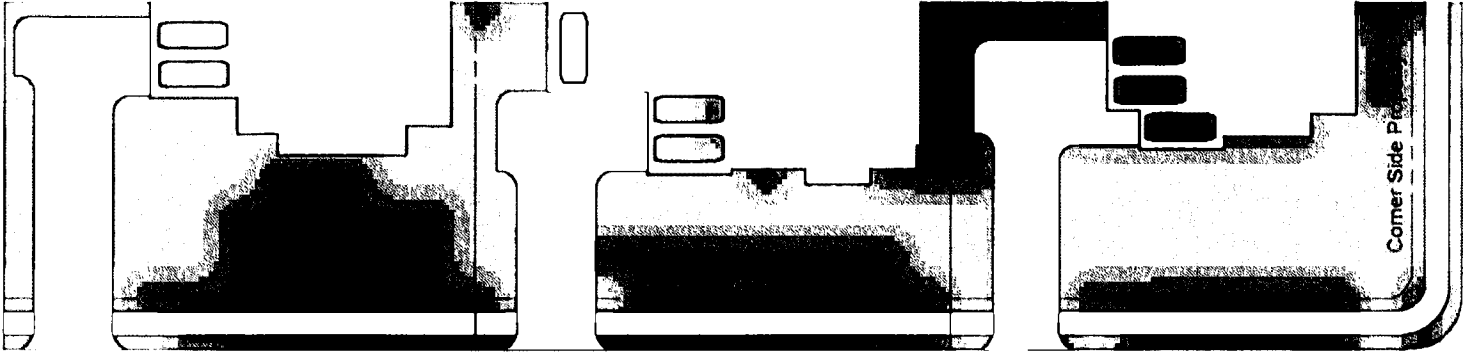
1. Required:
  - a. All Lots shall have a garage that accommodates a minimum of 2 full size cars parked side by side.
  - b. Minimum Depth: *updated 1.22.2025*
    - i. Classic, Heritage, and Legacy: 24'
    - ii. Founder: 20'
  - c. Types:
    - i. Front Facing: attached garage bays that are facing the front right of way and that have driveway access from the front of the Lot.



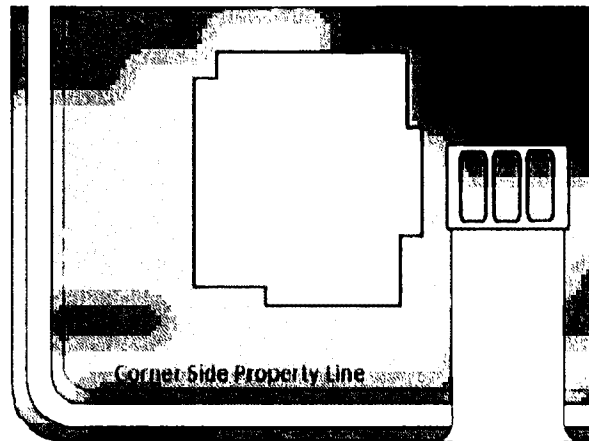
- ii. Swing-In: garage bays that are in the center of a Lot, facing the side Lot line, and that have driveway access from the front of the Lot.



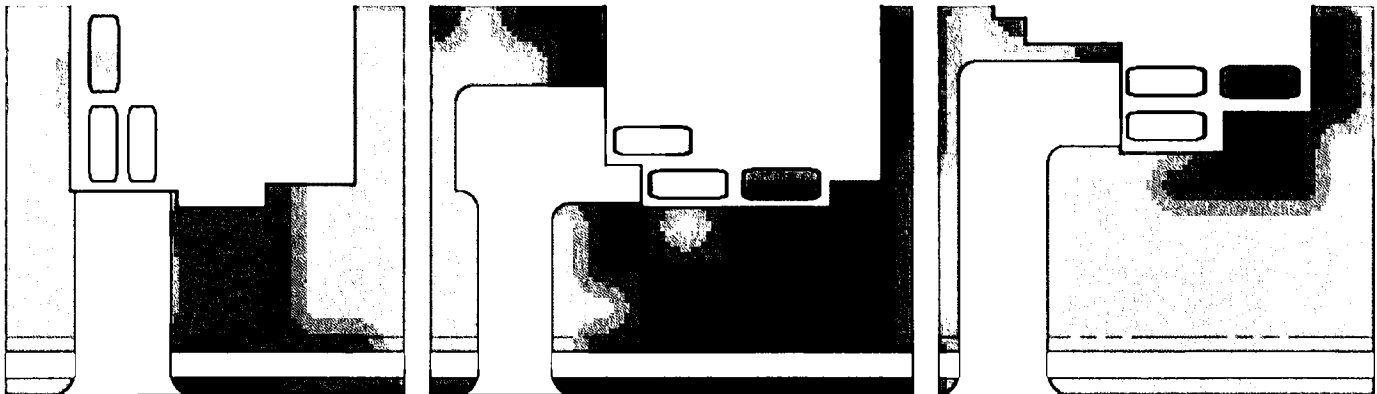
- iii. Side Loaded: garage bays that are on the exterior side of the Dwelling, facing the side Lot line, and that have driveway access from the front of the Lot.



- iv. Detached: garages that are not attached to the main Dwelling and that are located at the rear of a Lot.



- v. Tandem: garage bays that are located directly behind a 2 bay garage.



## 2. Founder Lots: Added 1.22.2025

### a. Front Facing:

#### i. Allowed:

- a) One car
- b) Two car
- c) Three car
- d) Tandem

#### ii. Prohibited

- a) On the corner, parkland, open space or, private trail side of a Lot.



- b. Swing-in:
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Tandem
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a side loaded garage or another swing-in garage.
  - c. Side Loaded:
    - i. Allowed: on Corner Lots with corner side entry
      - a) One car
      - b) Two car
      - c) Three car
      - d) Tandem
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a swing-on garage or another side loaded garage.
3. Classic Lots:
- a. Front Facing:
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Tandem
    - ii. Prohibited:
      - a) On the corner, parkland, open space, or private trail side of a Lot.
  - b. Swing-in
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Tandem
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a side loaded garage or another swing-in garage.
  - c. Side Loaded
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Tandem
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a Section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a swing-in garage or another side loaded garage.

- d. Detached Garage Front Facing: Garage bays facing the front right of way
    - i. Allowed
      - a) Two car
      - b) Three car
    - ii. Prohibited:
      - a) Facing the Corner Side right of way or the entry into a section; and
      - b) On the parkland, open space, or private trail side of a Lot.
  - e. Corner Side Detached: Facing corner side right of way
    - i. Allowed:
      - a) Two car
      - b) Three car
    - ii. Prohibited:
      - a) One the front of the Lot;
      - b) Facing the entry into a Section; and
      - c) On the parkland, open space, or private trail side of a Lot.
4. Heritage Lots: *revised 11.1.2020, revised 5.1.2021*
- a. Swing-in
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a side loaded garage or another swing-in garage.
  - b. Side Loaded:
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a swing-in garage or another side loaded garage.
  - c. Front Facing: *revised 11.1.2020, revised 5.1.2021*
    - i. ARC has the discretion to allow front facing on a case by case basis.
      - a) One car front facing
      - b) Two car front facing
    - ii. Prohibited:
      - a) Three car front facing
  - d. Detached Garage Front Facing: facing front right of way
    - i. Allowed
      - a) Two car
      - b) Three car
    - ii. Prohibited:
      - a) Facing the corner side right of way or the entry into a section; and
      - b) On the parkland, open space, or private trail side of a Lot.

- e. Corner Side Detached: facing corner side right of way
  - i. Allowed:
    - a) Two car
    - b) Three car
  - ii. Prohibited:
    - a) Front of the Lot;
    - b) Facing the entry into a Section; and
    - c) On the parkland, open space, or private trail side of a Lot.
- 5. Legacy Lots:
  - a. Swing-in
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Garage bays facing the corner side right of way
    - ii. Prohibited:
      - a) Facing the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a side loaded garage or another swing-in garage.
  - b. Side Loaded
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
      - d) Garage bays facing the corner side right of way
    - ii. Prohibited:
      - a) Facing the entry into a section;
      - b) On the parkland, open space, or private trail side of a Lot; and
      - c) Facing a swing-in garage or another side loaded garage.
  - c. Detached Garage Front Facing: facing front right of way
    - i. Allowed
      - a) Two car
      - b) Three car
      - c) Garage bays facing corner side right of way
    - ii. Prohibited:
      - a) Facing the entry into a section; and
      - b) On the parkland, open space, or private trail side of a Lot.
  - d. Corner Side Detached: facing corner side right of way
    - i. Allowed:
      - a) Two car
      - b) Three car
    - ii. Prohibited:
      - a) On the front of the Lot;
      - b) Facing the entry into a section; and
      - c) On the parkland, open space, or private trail side of a Lot.
  - e. Prohibited
    - i. Front facing garages
- 6. Prohibited
  - a. Carports

## b. Garage conversions

**G. Driveways** revised 5.11.2020, revised 7.25.2023

1. Refer to County Ordinances for Construction Guidelines and ADA requirements.
2. Minimum and maximum widths are measured at the front Lot line.

## a. Founder Lot Driveway Widths: Added 1.22.2025

Garage Type	Number of Cars	Minimum at Front Lot line	Maximum at Front Lot line	Maximum at Garage Face
Attached Front Facing	2 Car*	12'	18'	20'
Attached Swing In	2 Car	12'	16'	20'
	3 Car		16'	28'
Corner Side Loaded	2 Car*	12'	18'	20'
	3 Car		24'	28'
*May exceed maximum with Board approval				

## b. Lot Driveway Width: revised 5.11.2020

Garage Type	Number of Cars	Minimum at Front Lot line	Maximum at Front Lot line	Maximum at Garage Face
Attached Front Facing	2 Car*	12'	18'	20'
	3 Car		24'	28'
Attached Side Loaded	2 Car	12'	16'	20'
	3 Car		16'	28'
Attached Swing In	2 Car	12'	16'	20'
	3 Car		16'	28'
Detached Front Loaded	2 Car*	12'	18'	20'
	3 Car		24'	28'
Corner Side Loaded and Detached	2 Car*	12'	18'	20'
	3 Car		24'	28'
*May exceed Maximum with Board approval				

### 3. Heritage Lot Driveway Widths: *revised 5.1.2021*

Garage Type	Number of Cars	Minimum at Front Lot line	Maximum at Front Lot line	Maximum at Garage Face
Attached Front Facing	2 Car*	12'	18'	20'
Attached Side Loaded	2 Car	12'	16'	20'
	3 Car		16'	28'
Attached Swing In	2 Car	12'	16'	20'
	3 Car		16'	28'
Corner Side Loaded and Detached	2 Car*	12'	18'	20'
	3 Car		24'	28'
*May exceed Maximum with Board approval				

### 4. Legacy Lot Driveway Width:

- a. ARC has the discretion to set the driveway width on a case by case basis

### 5. Prohibited Driveways

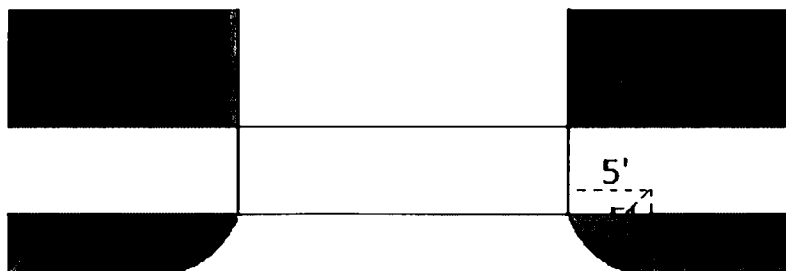
- a. Front facing on the corner side of the Lot, facing the front right of way;
- b. Swing-in or side loaded on the corner side of the Lot;
- c. Detached front facing on the corner side of the lot facing the front right of way; and
- d. On the open space, parkland, or trail side of a Lot.

### 6. Materials: *revised 11.1.2020, revised 12.23.2020, revised 7.25.2023*

- a. Driveway:
  - i. Required:
    - a) Exposed aggregate
  - ii. Allowed: upgraded driveway treatments encouraged
    - a) Rock Salt Finish: Finish must be noticeable, with 1/8 to 3/8 rock salt crystals, at no less than 6 pounds per 100 square feet.
    - b) Pattern saw cut concrete, or other alternative driveway applications, with ARC approval
  - iii. Prohibited:
    - a) Plain concrete
- b. Accent Borders:
  - i. Allowed:
    - a) Stamped or colored concrete pavers, brick, or flagstone with ARC approval
    - b) Must match architectural style, color and materials of the Dwelling
  - ii. Prohibited:
    - a) Asphalt, loose gravel/pea gravel, stone, timber borders
- c. When decorative materials are used, the public sidewalk may not carry through

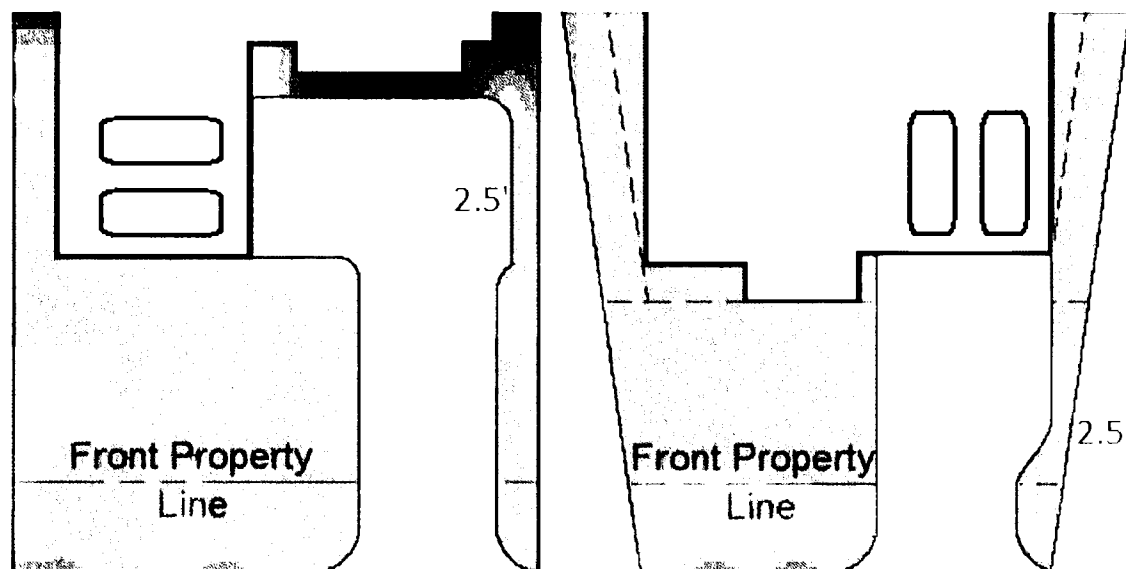
7. Driveway Radius

- a. 5'



8. Driveway Side Setbacks from Side Lot Line

- a. Minimum 2.5'



H. **Sidewalks:** *revised 2.1.2020.* Owners must replace and repair any damaged sidewalk in accordance with any applicable laws and ordinances. See Fencing Plan.

1. Material

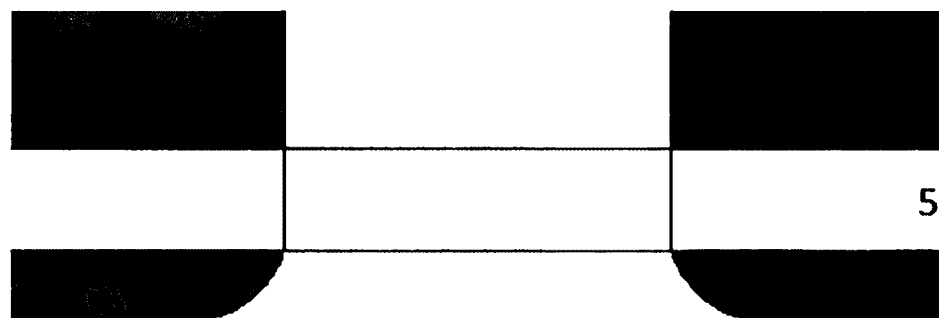
- a. Concrete

2. Width

- a. 5'

3. Placement

- a. 3' from the back of the curb



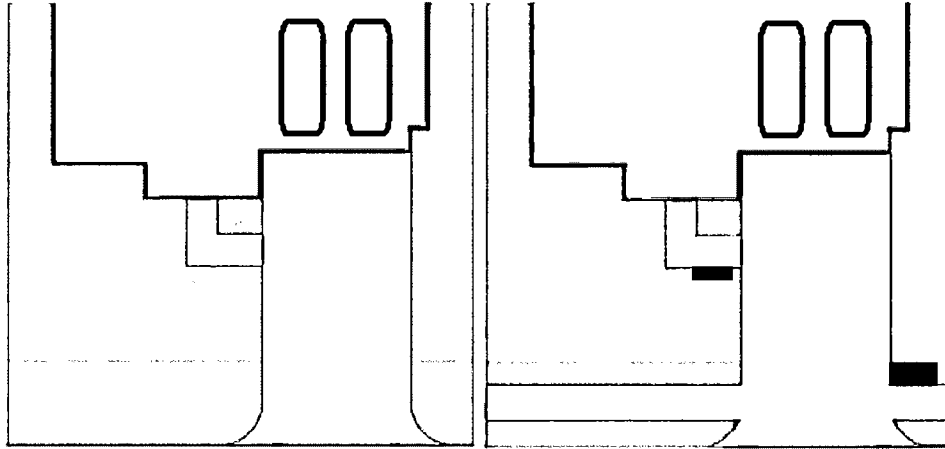
## I. Walkways

### 1. Placement

#### a. Front Facing Garages:

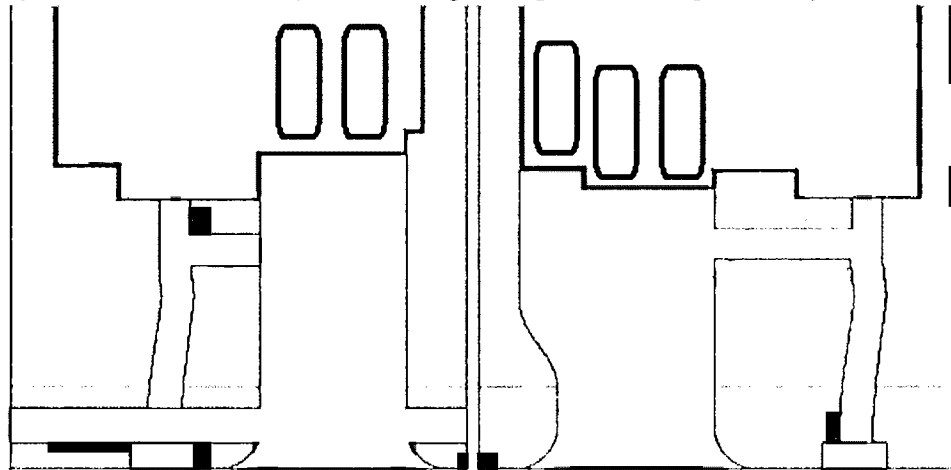
##### i. Must lead from the front elevation to driveway

- a) Must have 2' deep planting area between the foundation, driveway, and walkway
- b) Must have landscape screening facing the front right of way



##### ii. May lead from the front elevation to the driveway and curb

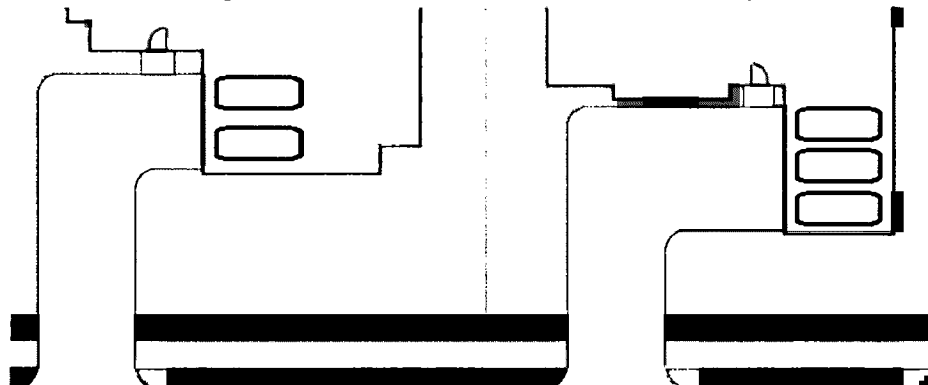
- a) Must have 2' deep planting area between the foundation, driveway, and walkway
- b) Must have landscape screening facing the front right of way



#### b. Swing-In:

##### i. Must not lead to the driveway

##### ii. Landscape screening is not required for interior the front entry.

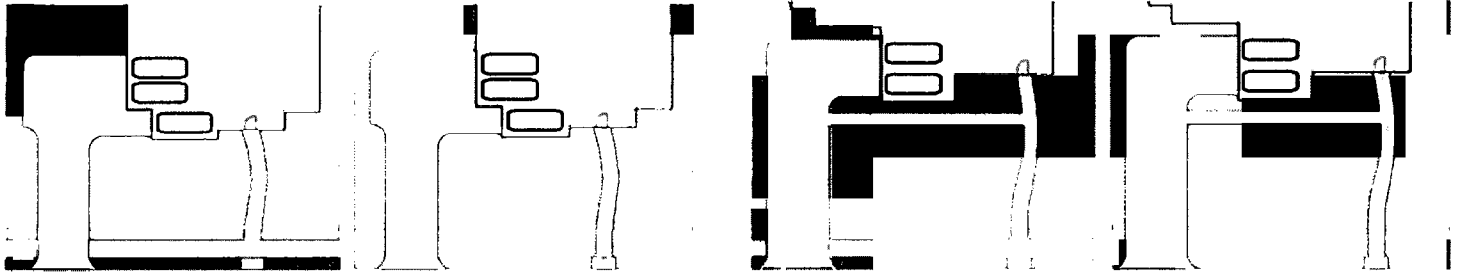


c. Side Loaded: *updated 1.22.2025*

i. Founder, Classic and Heritage:

a) Lots with sidewalk and lots with no sidewalk:

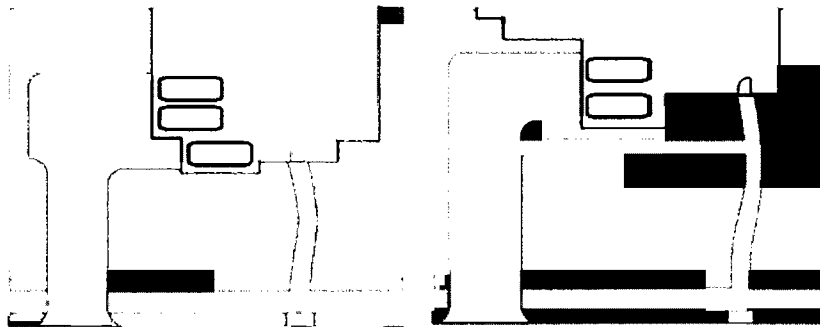
- 1) Must lead from the front elevation to the back of curb.
- 2) May lead from the front elevation to the back of curb and driveway, with ARC approval.



ii. Legacy Lots: *revised 6.24.2022*

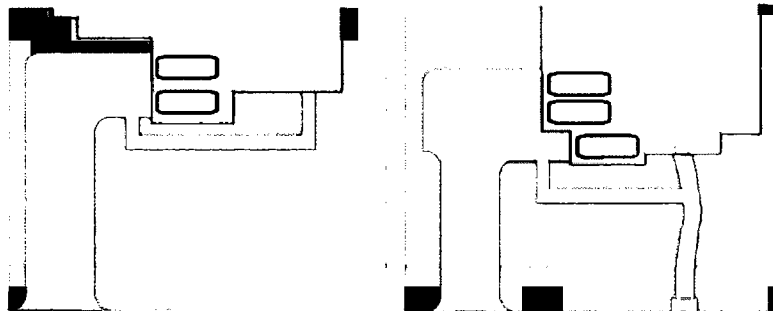
a) Lots with sidewalk:

- 1) Must lead from the front elevation to the back of curb.
- 2) May lead from the front elevation to the back of curb and driveway, with ARC approval.



b) Lots with no sidewalk:

- 1) May lead from the front elevation to the back of curb or to the driveway.
- 2) May lead from front elevation to the back of curb and driveway, with ARC approval.



2. Width

- a. 3' minimum
- b. 5' maximum with decorative border

3. Materials: *revised 11.1.2020*

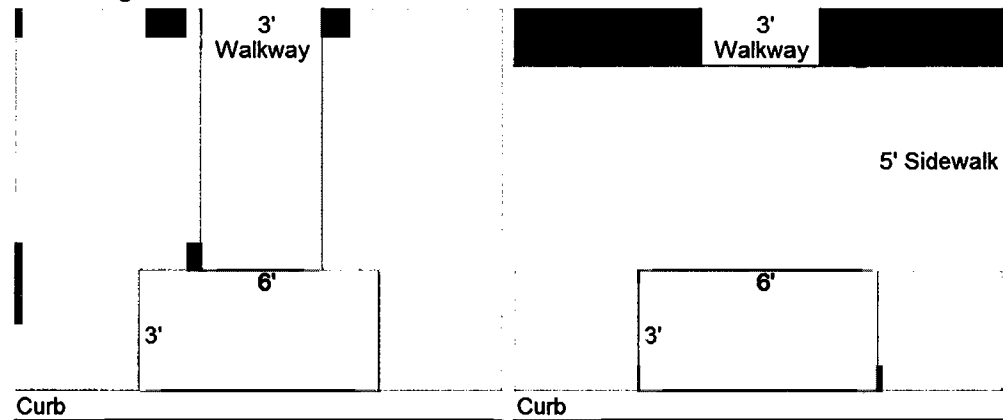
- a. Required: exposed aggregate to match driveway material
- b. Allowed Accent Borders: stamped or colored concrete, concrete pavers, brick, or flagstone with ARC approval



c. Prohibited: finished cement, asphalt, loose gravel/pea gravel, stone, timber boarders

**J. Walkway Landings** *revised 11.1.2020*

1. Required for walkways leading form the front elevation to the curb, Owner installed
2. Size:
  - a. 3'x6' landing



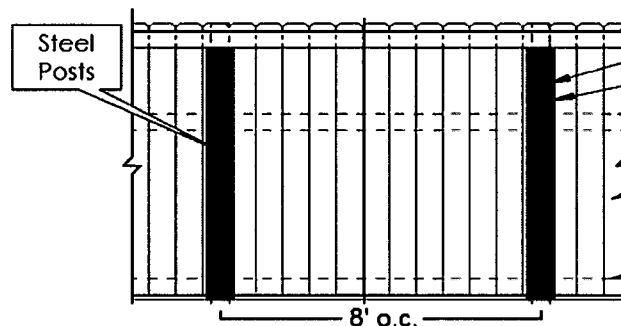
3. Placement
  - a. Back of curb
4. Materials:
  - a. Must match walkway
  - b. Required: exposed aggregate to match driveway material
  - c. Allowed Accent Borders: stamped or colored concrete, concrete pavers, brick, or flagstone with ARC approval
5. Materials Prohibited:
  - a. Finished cement, asphalt, loose gravel/pea gravel, stone, timber boarders

**K. Parking**

1. Parking restrictions are established by City Ordinance for City of College Station Enforcement.
2. Parking is restricted to one designated side of the local roadway.

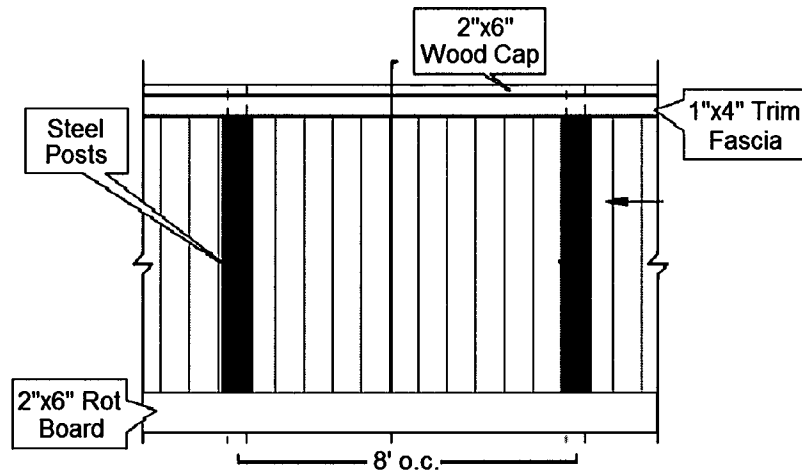
**L. Fencing:** *revised 5.11.2020*

1. Fence Types
  - a. **"Smooth Side/Back Side Fence"**: All boards facing one side
    - i. 6', 1"x6", no.2 cedar pickets
    - ii. 3, 2"x4" wood stringers
    - iii. Steel Posts: *revised 5.11.2020*
      - a) When both sides are preferred to be smooth side, Owners must work with the adjacent Lot Owners to acquire approval to access the steel posts.
    - iv. 8D galvanized screw shank nails
  - b. Owners may determine upon application which sides to be the smooth side/back side



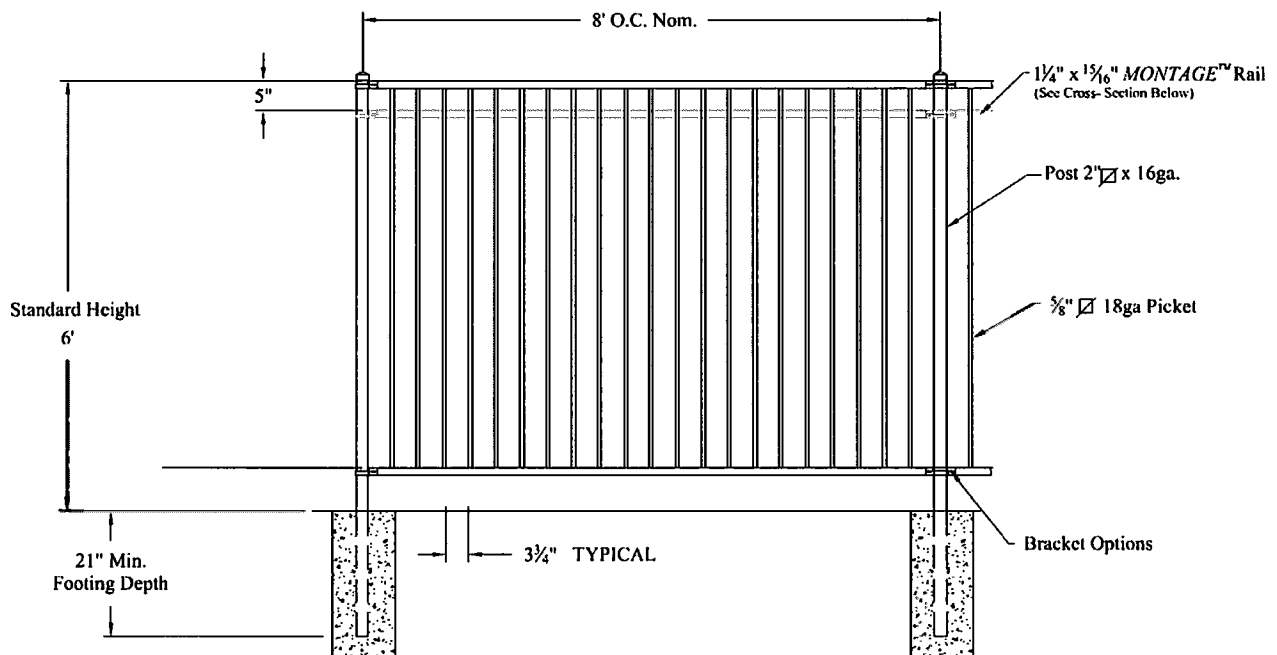
**c. "Upgraded Wood Facing Public View Fence":**

- i. 6', 1"x6", no.2 cedar pickets
- ii. 3, 2"x4" wood stringers
- iii. Steel Posts: *revised 5.11.2020*
  - a) When both sides are preferred to be smooth side, Owners must work with adjacent Lot Owners to acquire approval to access the steel posts.
- iv. 8D galvanized screw shank nails
- v. 2"x 6" wood cap with 1"x4" wood fascia rail (trim board)
- vi. 2"x6" rot board (kickboard)
- vii. 6' 8" total fence height



**d. "Steel Fence": *revised 3.17.2020***

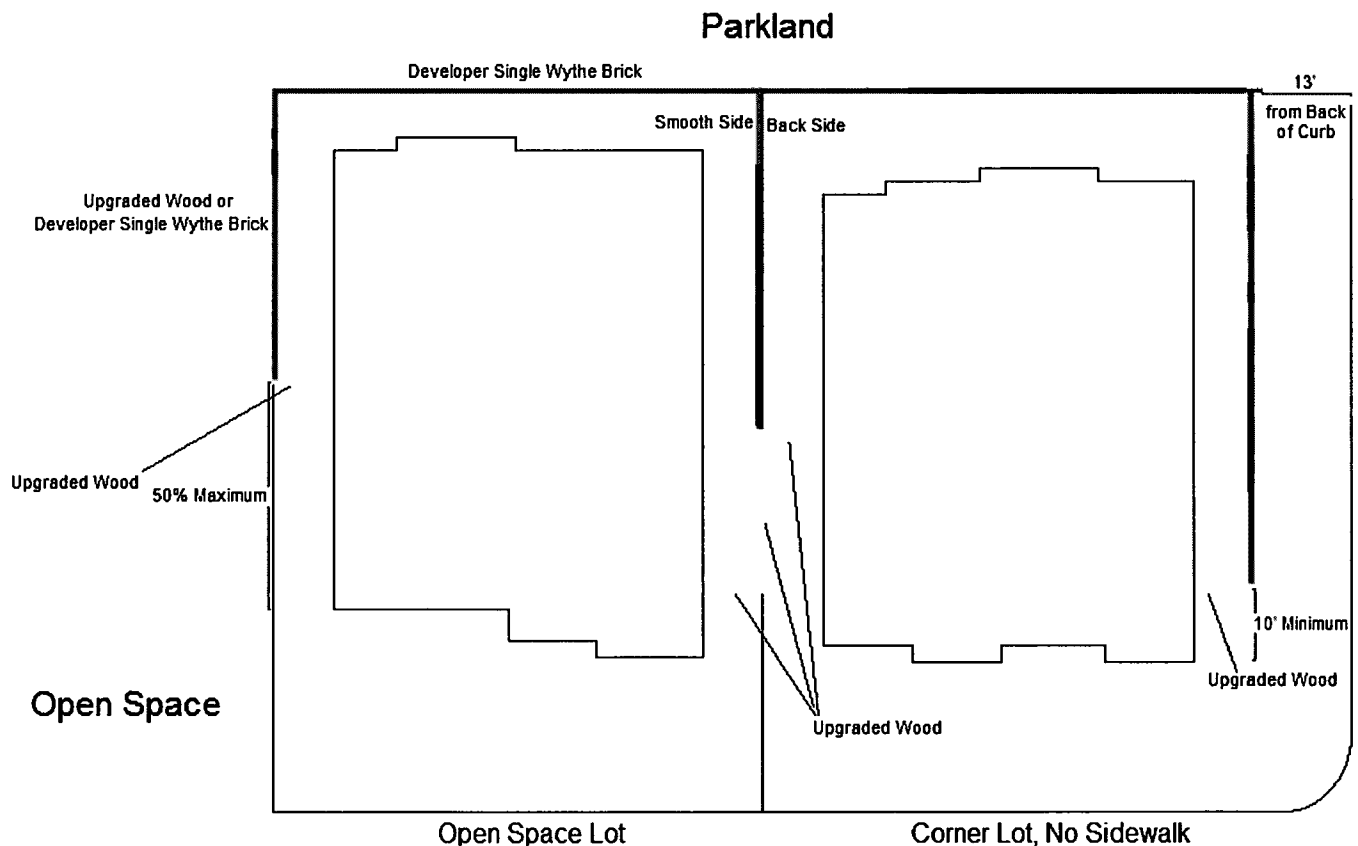
- i. Ameristar Montage Majestic, Residential Line
- ii. 6' fence height
- iii. 3 rail
- iv. Flush bottom
- v. Black color



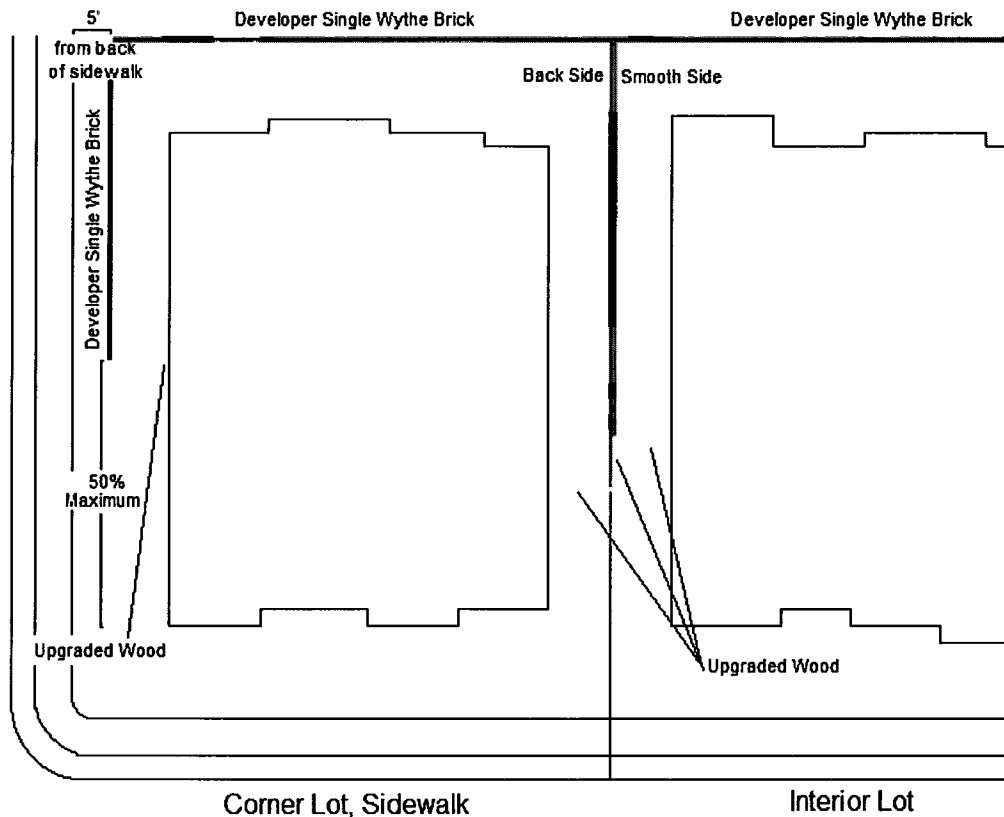
2. Fence Type and Location: *revised 3.17.2020*. As determined by each Phase Fence Plan. See Phase Fencing Plans.

a. Parkland Lots:

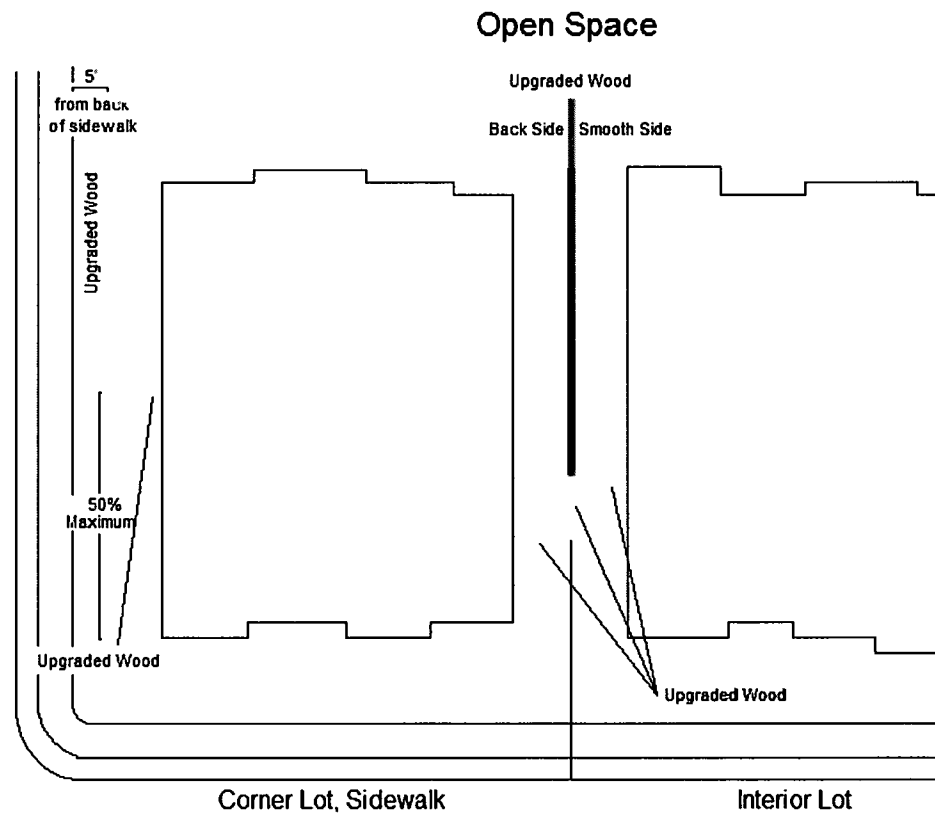
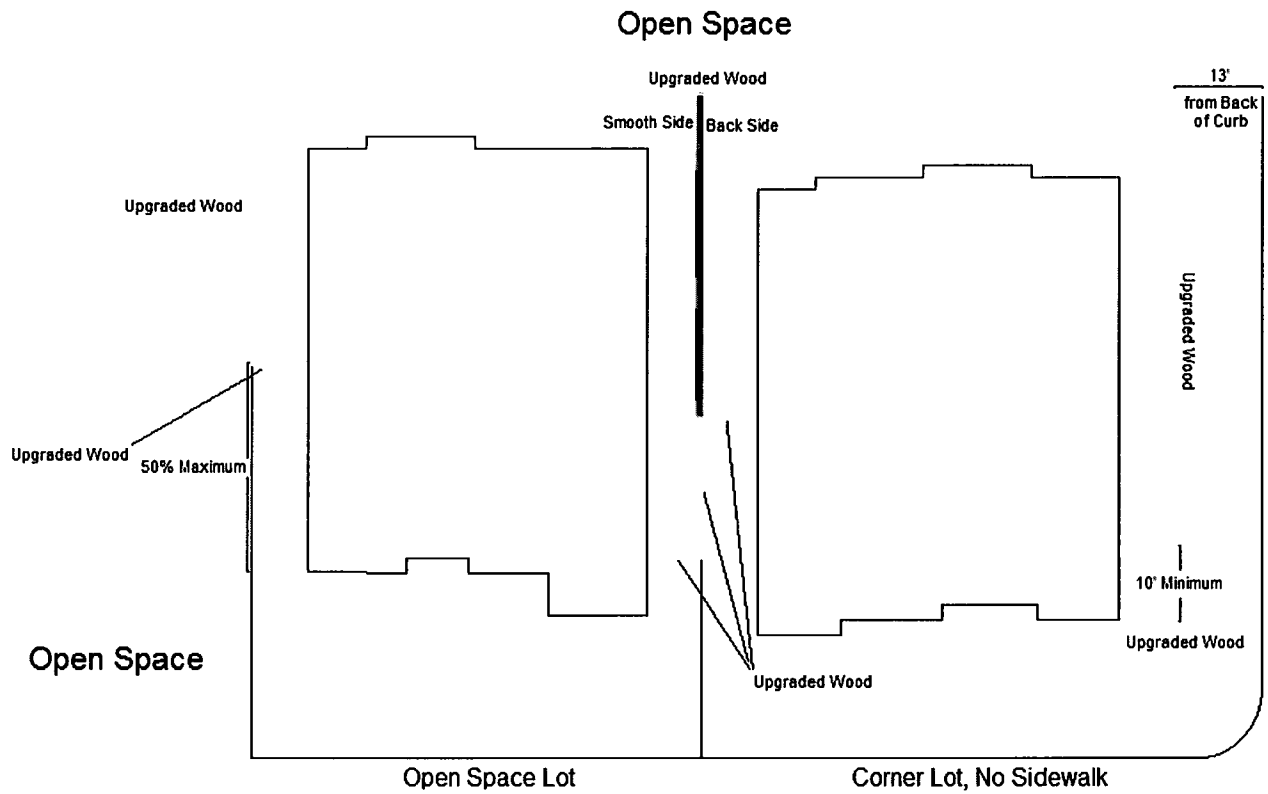
- i. Front Fence Returns: left and right side facing right of way
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - b) Setback from closest front elevation corner of the Dwelling
    - 1) Minimum 10' to maximum 50% of the side elevation
    - 2) Must enclose HVAC system
- ii. Visible Side Fence: fencing visible between adjacent front fence returns
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
- iii. Non-Visible within Public View: Lots with rear and/or side single wythe brick or upgraded wood fencing
  - a) Smooth Side/Back Side Fence
- iv. Rear Fence: fencing along the rear Lot line
  - a) Single wythe brick fence
- v. Reserve Side Fence: fencing facing a Reserve Area
  - a) Single wythe brick or Upgraded Wood Facing Public View Fence
- vi. Corner Side Fence: fencing facing the corner side street
  - a) Single wythe brick fence

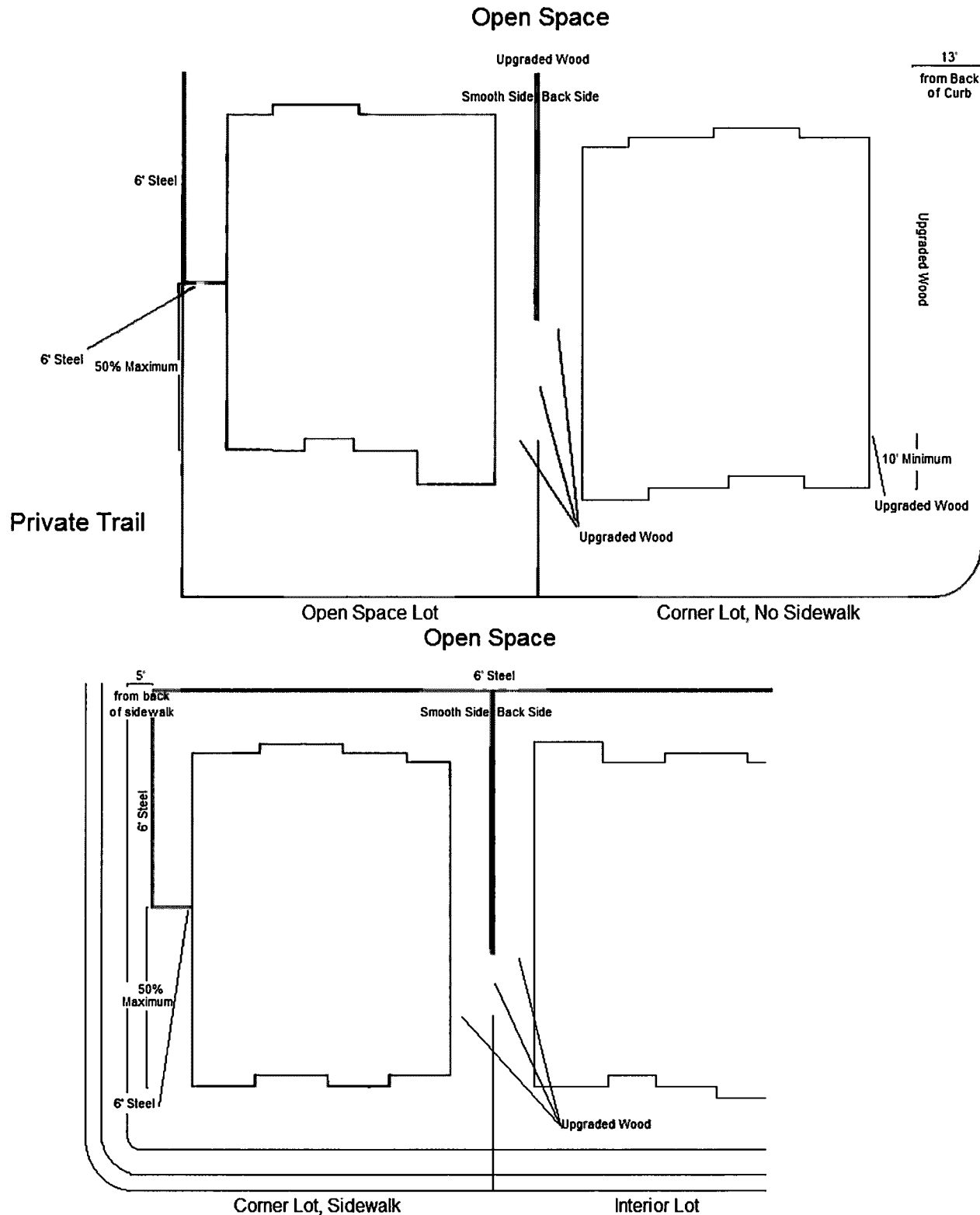


## Parkland



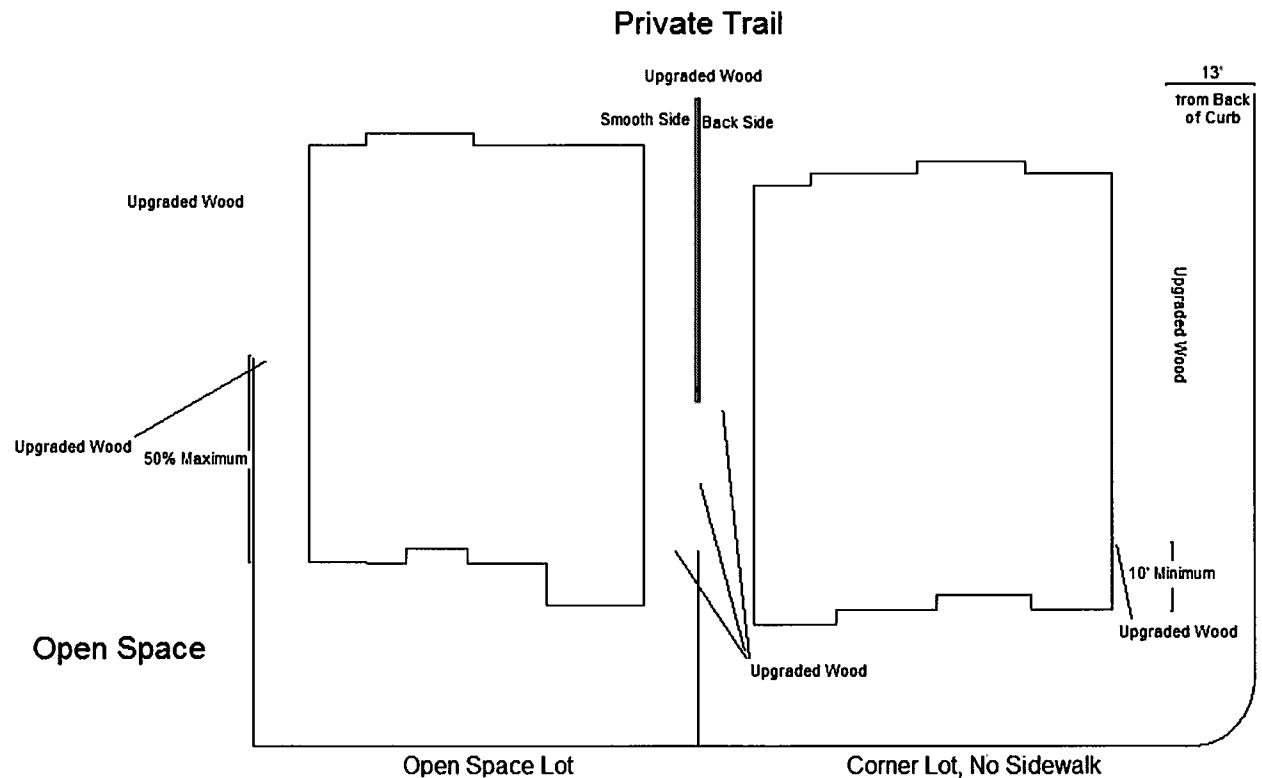
- b. Open Space Lot: Lots backing or siding to an open space
  - i. Front Fence Returns: left and right side facing right of way
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
    - b) Setback from closest front elevation corner of the Dwelling
      - 1) Minimum 10' to maximum 50% of the side elevation
      - 2) Must enclose HVAC system
  - ii. Open Space Side Fence: fencing siding to an open space
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - iii. Visible Side Fence: fencing visible between adjacent front fence returns
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - iv. Open Space Rear Fence: fencing backing to an open space
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - v. Rear Fence: fencing along the rear Lot line
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - vi. Visible within Public View: Lots with rear and/or side steel fencing
    - a) Smooth Side/Back Side Fence
  - vii. Non-Visible within Public View: Lots with rear and/or side upgraded wood fencing
    - a) Smooth Side/Back Side Fence
  - viii. Corner Side Fence: fencing facing corner side street
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
    - b) Sidewalk Lots:
      - 1) Setback 5' from back of sidewalk
    - c) No Sidewalk Lots:
      - 1) Setback 13' from back of curb



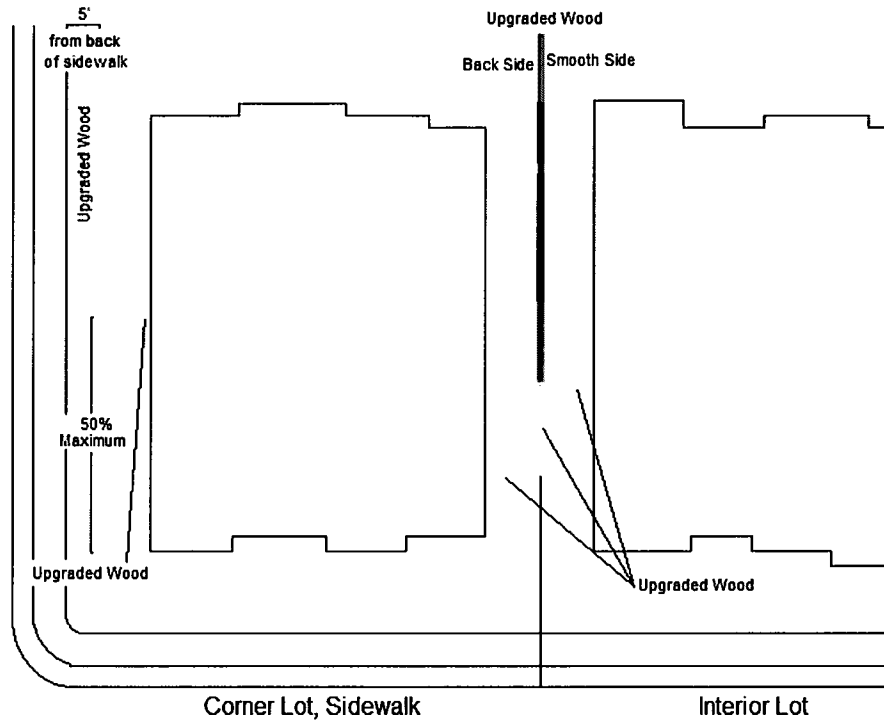


- c. Private Trail: Lots backing or siding to private trails
  - i. Front Fence Returns: left and right side facing right of way
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
    - b) Setback from closest front elevation corner of the Dwelling
      - 1) Minimum 10' to maximum 50% of the side elevation
      - 2) Must enclose HVAC system
  - ii. Private Trail Side Fence: side fencing facing a private trail
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence

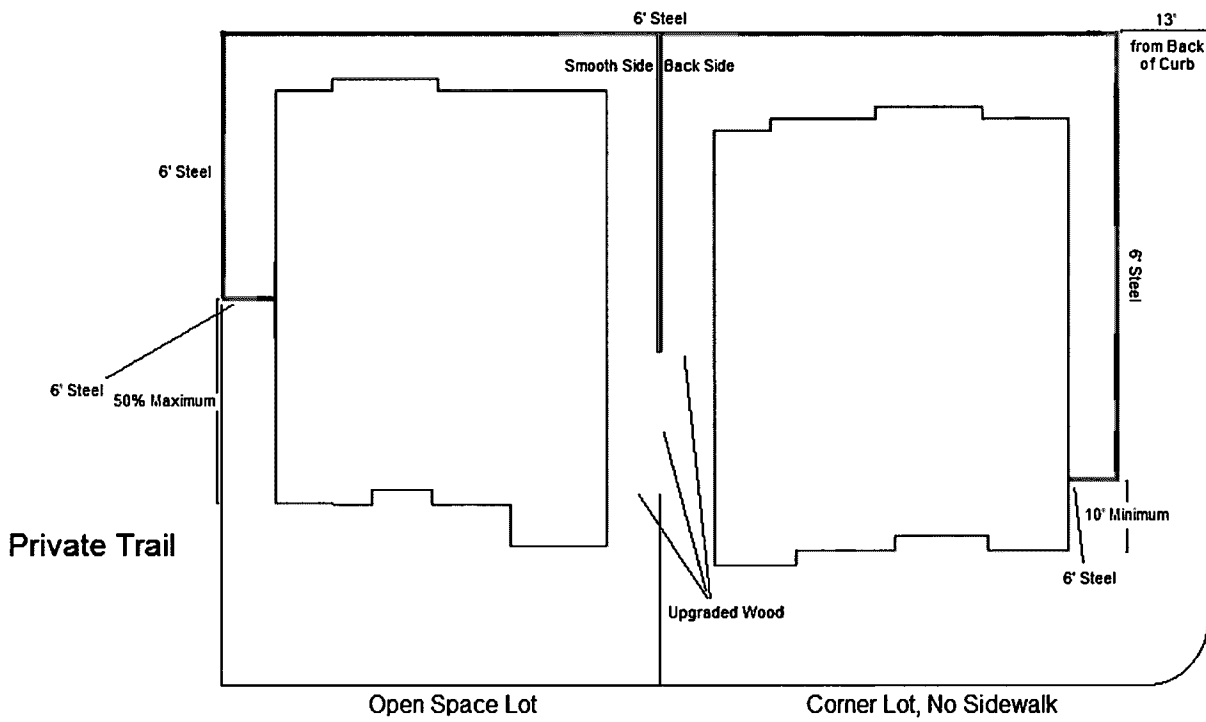
- iii. Visible Side Fence: fencing visible between adjacent front fence returns
  - a) Upgraded Wood Facing Public View Fence
- iv. Private Trail Rear Fence: rear fencing facing a private trail
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
- v. Rear Fence: fencing along the rear Lot line
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
- vi. Visible within Public View: Lots with rear and/or side steel fencing
  - a) Smooth Side/Back Side Fence
- vii. Non-Visible within Public View: Lots with rear and/or side upgraded wood fencing
  - a) Smooth Side/Back Side Fence
- viii. Open Space: fencing backing or siding to an open space
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
- ix. Corner Side Fence: fencing facing corner side street
  - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
  - b) Sidewalk Lots:
    - 1) Setback 5' from back of sidewalk
  - c) No Sidewalk Lots:
    - 1) Setback 13' from back of curb



### Private Trail

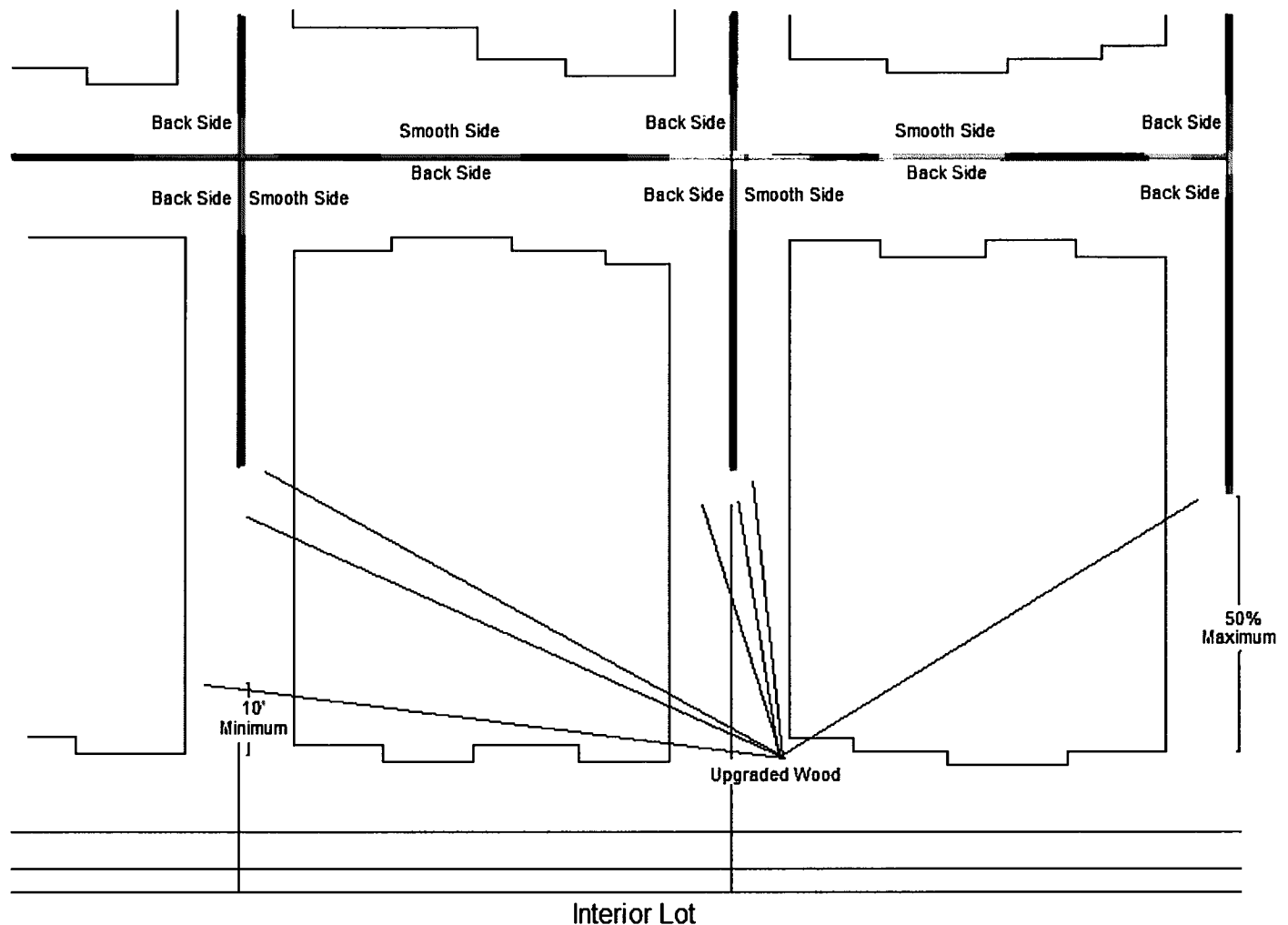


### Private Trail

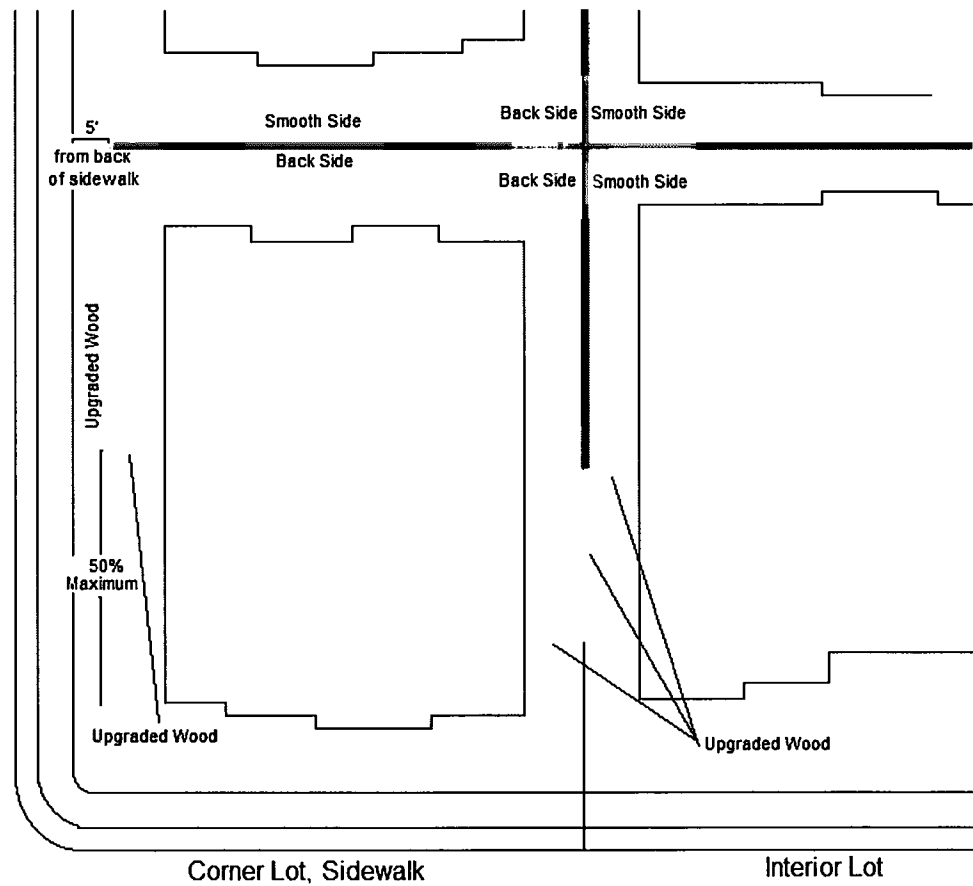
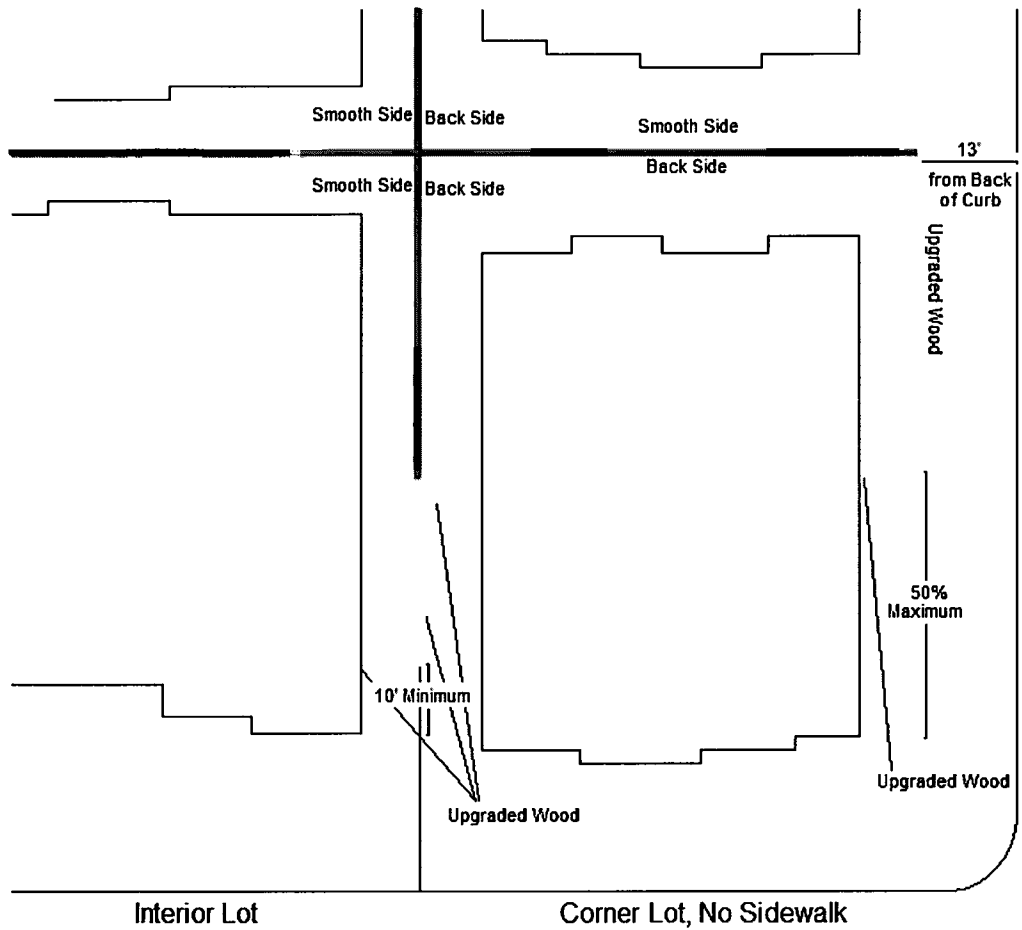








- e. Typical Corner Lot: Lots siding a side street
  - i. Front Fence Returns (left and right side facing right of way)
    - a) Upgraded Wood Facing Public View Fence
    - b) Setback from closest front elevation corner of the Dwelling
      - 1) Minimum 10' to maximum 50% of the side elevation
      - 2) Must enclose HVAC system
  - ii. Corner Side Fence: fencing facing the corner side street
    - a) Upgraded Wood Facing Public View Fence or 6' Steel Fence
    - b) Sidewalk Lots:
      - 1) Setback 5' from back of sidewalk
    - c) No Sidewalk Lots:
      - 1) Setback 13' from back of curb
  - iii. Visible Side Fence: fencing visible between adjacent front fence returns
    - a) Upgraded Wood Facing Public View Fence
  - iv. Rear Fence: fencing along the rear Lot line
    - a) Smooth Side/Back Side Fence
  - v. Non-visible within Public View: Lots with rear and/or side upgraded wood fencing
    - a) Smooth Side/Back Side Fence

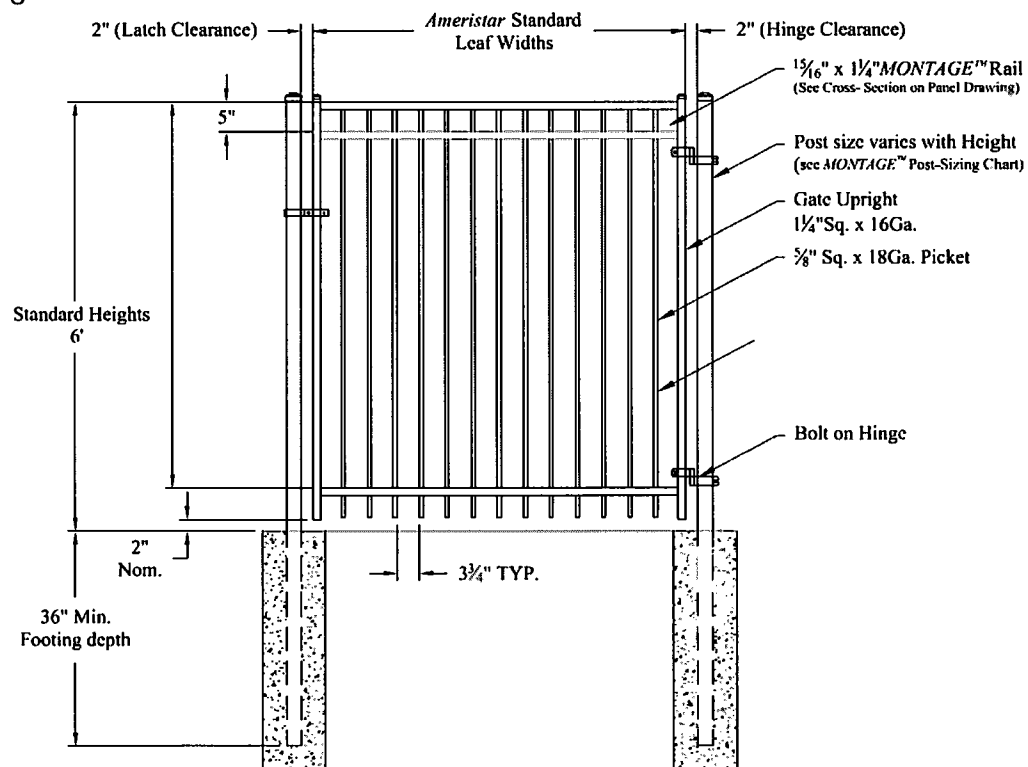


**M. Fence Stain** *revised 5.11.2020, revised 5.1.2021*

1. Required on all visible fencing
2. Fence stain must be completed prior to landscaping. Owner must apply stain per manufacturer specifications. See Paint Maintenance Guide.
3. Stain color: *revised 5.11.2022, revised 5.21.2022*
  - a. "Greens Prairie Reserve Hawthorne" by Sherwin Williams
    - i. May be purchased at the following locations:
      - a) Sherwin Williams College Station: 3108 Texas Ave. S., College Station TX 77845
      - b) Sherwin Williams Bryan stores: 3816 S. Texas Ave., Bryan TX 77802
    - ii. Oil-based prohibited
    - iii. To be applied according to the Paint Maintenance Guide.
    - iv. Sample boards available at the Greens Prairie Reserve Welcome Center

**N. Pedestrian Gates**

1. Upgraded Wood Facing Public View Fence:
  - a. 6' gate
2. Steel Fence with steel gate:
  - a. Ameristar Majestic Montage Plus
  - b. 6' gate



3. Allow Placement
  - a. Either side of or both sides of the front fence returns
4. Access:
  - a. Private trail
5. Prohibit Access:
  - a. Amenity center
  - b. Non-trail areas
  - c. Corner side of a Lot, facing the corner side street
  - d. Open space side of a Lot, facing the open space

**O. BTU and Fiber Optic Network Cabling**

1. BTU conduit and Fiber Optic Network cabling to be installed at the same time.
  - a. Installation of Fiber Optic Network cabling conduit to be installed at Owner's expense.

**P. Grading/Drainage**

1. Positive drainage away from the Dwelling must be provided for rainfall, gutter downspouts, irrigation, air conditioner condensate, and other types of water runoff.
2. Caution should be used in establishing the foundation elevation so that driveways, slabs or insufficient fall does not impair adequate drainage of the Lot.
3. Owners may not grade Lots that significantly alter the existing overland drainage flow patterns. See As-Built Topographic Survey per phase.

**Q. Slab Height**

1. All Lots must follow the development Lot grading for Lot specific slab height. See Lot Grading Exhibit per phase.

**R. Form Survey**

1. Proposed Slab Height Layout: required for all site plan submittals.

## II. Architectural Guidelines

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**A. Square Footage:** Minimum and maximum per product type. *revised 7.25.2023*

1. Refer to the Declaration

**B. Base Plan Widths:** *revised 7.1.2022, updated 1.22.2205*

1. Dwelling foundation width
  - a. Total width does not include bonus options

Product Type	Lot Size	Base Plan Minimum
Founder	50' -55'	39'
Classic	70' – 80'	50'
Heritage	90' +	65'
Legacy	110'+	65'

**C. Architectural Styles** *updated 1.22.2025***1. Founder, Classic and Heritage:**

- a. The following general classifications of architectural design styles are among those compatible with the architectural ideals established for Greens Prairie Reserve. The design elements below are not intended to hinder individual style. They are to provide a uniform standard of the highest quality and well-crafted design. Design styles must be identified on plan submittals.
2. Legacy: Architectural design styles will be reviewed by the ARC, as submitted per Lot.
3. Side and Rear Elevations facing public right of way or parkland/open space/trails should have architecture elements that carry from the front elevation such as window styles and materials consistent with the front elevation, gables, dormers, wrap-around porches, and/or other architecture accents.
4. Additional classifications of architectural styles will be considered by the ARC on a case-by-case basis. Designs lacking character, style, and articulation are strongly discouraged and may not be approved by the ARC.
5. Design Elements: Each elevation must meet a minimum of 3 design elements to be considered an allowed architectural style.

**a. Bungalow:**

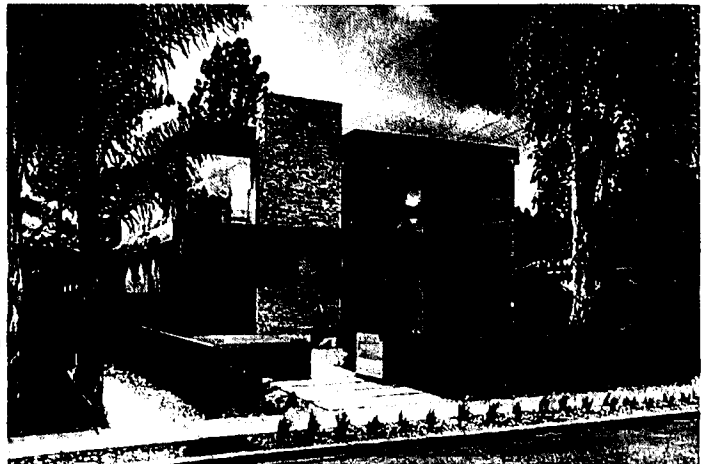
- 1) May be 1, 1.5, and occasionally 2 stories
- 2) Low-pitched roof, gabled or hipped
- 3) Deep eaves with exposed rafters
- 4) Decorative knee braces
- 5) Dormers, shed, hipped or gabled
- 6) Functional covered front porch required defined as a minimum of 60 square feet with at least 6 feet of depth. Front porch to include massive columns.
- 7) Windows are typically double hung with multiple lights in the upper window and a single pane in the lower, often seen in continuous banks. Simple, wide casings.
- 8) Exterior Materials:
  - a) Primarily Hardie siding with stucco, brick, stone and cedar shake shingles as accent
  - 1) No more than 25% stucco, brick or stone is allowed





**b. Contemporary**

- 1) Irregular, asymmetrical façade
- 2) Strong, geometric shapes
- 3) Extensive use of natural light
- 4) Open floor plan in L, T, H or U shape to embrace outdoor space
- 5) Flexible layout to adapt to changes in family needs
- 6) Large windows, often placed non-symmetrically
- 7) Clerestory windows



**c. Cottage:**

- 1) May be 1, 1.5, and occasionally 2 stories
- 2) Asymmetrical plan
- 3) Cross-gabled, medium to steeply pitched roof, sometimes with clipped gables
- 4) Half-timbering
- 5) Arrangements of tall, narrow windows in bands; small windowpanes either double-hung or casement
- 6) Over scaled chimneys with decorative brickwork and chimney pots
- 7) Cozy, irregularly-shaped rooms
- 8) Exterior Materials
  - a) Stucco, brick, stone, Hardie siding and cedar shake shingles as accent
  - b) No more than 50% stucco, brick or stone is allowed



d. Craftsman:

- 1) May be 1, 1.5, or 2 stories
- 2) Roof pitches may vary, but, on one-story Dwellings, the primary roof pitch should not exceed 6:12. Accent roofs need not meet this requirement. There is no roof pitch requirement for 1.5 and 2 story dwellings.
- 3) Primary windows' proportion ratio of height to width is between 1.7 - 2.2 to 1. Accent windows need not meet this proportion requirement.
- 4) Doors should have some rectilinear glass or glass pattern in some part of the upper third of the front door.
- 5) Front columns should have a wider base on the lower part of the column



- 6) Functional covered front porch required defined as a minimum of 60 square feet with at least 6 feet of depth. Front porch to include a decorative railing.
- 7) Gables should include architectural brackets, windows, or other architectural elements near the top and bottom portions of the gable.
- 8) Exterior Materials:
  - a) Hardie siding with brick, stone, stucco, and cedar shake shingles as accent
  - b) No more than 25% stucco, brick or stone is allowed.



- e. Farmhouse:
  - 1) Typically 1, 1.5, or 2 stories
  - 2) Roof pitches are 8:12 or steeper; however, accent roofs may have a roof pitch less than 8:12
  - 3) Primary window style should primarily have tall, rectangular proportion. Primary windows' proportion ratio of height to width is between 2.0-2.5 to 1. Accent windows need not meet this proportion requirement.
  - 4) Window division patterns of 2 over 2, 2 over 1, 6 over 6 or no divided light are allowed. Accent windows need not meet this pattern requirement.
  - 5) Functional open front porch required defined as a minimum of 60 square feet with at least 6 feet of depth.
  - 6) Gables should be simple forms on farmhouses
  - 7) Exterior Materials:
    - a) Hardie siding with board and batten as accent
    - b) Prohibited: brick and stucco
    - c) No more than 25% stone



f. French Country

- 1) Steep, hipped roof lines
- 2) Balanced, symmetrical proportions
- 3) Tall second-story windows (often with arched tops)
- 4) Porches with substantial balustrades
- 5) Exterior Materials:
  - a) Brick, stone or stucco
  - b) Natural stone that is typically gray or white



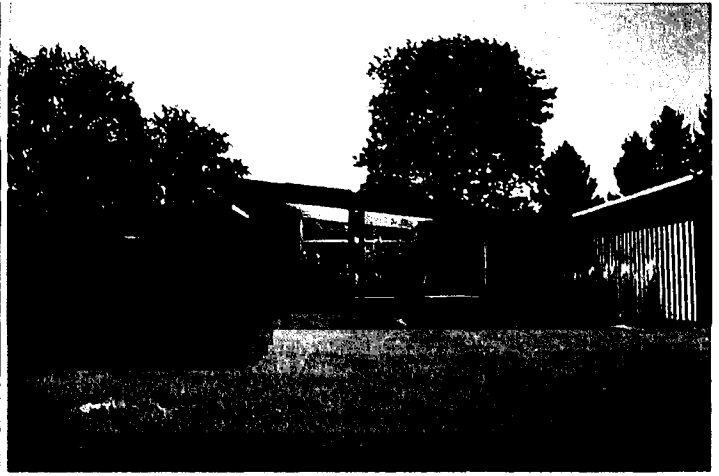
g. Mediterranean Style

- 1) Open floor plans with high ceilings
- 2) Large outdoor spaces
- 3) May feature arched windows and arched doorways
- 4) Arched lintels on lower-level windows
- 5) Wrought-iron balconies and window grilles
- 6) Lower-level windows are taller than on upper level
- 7) Low pitched tile roofs (typically reddish and barrel-shaped)
- 8) Wide eaves with or without brackets and closed soffits
- 9) Often have courtyards, and verandas on the upper level
- 10) Shorter and often recessed second story
- 11) Doors and porches are commonly centered on the main Dwelling mass
- 12) Exterior Materials:
  - a) Stone, brick or stucco exterior walls (light hued) with thick and solid appearance



**h. Mid Century Modern:**

- 1) Very low-pitched roofs – from flat (1/4" per foot to 3:12 with large over-hanging eaves generally no less than 36")
- 2) Exterior walls clad with combinations of horizontal lap siding, vertical tongue and groove siding, spandrel panels, masonry, or stucco
- 3) Limited exterior trim
- 4) Flat planes
- 5) Angular details and asymmetrical profiles
- 6) Minimal ornamentation
- 7) Expansive walls of glass blurring the line between interior and exterior spaces at courtyards and patio
- 8) Wide open floor plans and changes in elevation



i. Ranch:

- 1) Single story
- 2) Asymmetrical, spreading, horizontal orientation
- 3) Hipped or gabled roof often with wide eaves
- 4) Logical, open floor plan in a rectangular, L or U-shaped configuration
- 5) Minimal ornamentation
- 6) Large plate glass picture windows
- 7) Attached garage
- 8) Exterior Materials:
  - a) Hardie siding, stucco, and brick



j. Traditional

- 1) 1 to 2 stories
- 2) A variety of styles that do not fit clearly into our other design styles but that contain characteristics of older home styles
- 3) Columns
- 4) Dormers
- 5) Covered entries
- 6) At least one front facing gable
- 7) Symmetrically spaced windows
- 8) Modest ornamentation
- 9) Exterior Materials
  - a) Hardie siding, stucco, brick, and stone
  - b) Prohibited: Anodized aluminum window frames



**k. Transitional *Added 1.22.2025***

- 1) 1 to 2 stories
- 2) Combined elements of both traditional and modern home styles, without conforming to a specific design style.
- 3) Neutral color palettes
- 4) Contrasting shades and tones
- 5) Industrial elements such as metal roof, grid railing, and vertical siding
- 6) Oversize glass windows – usually asymmetrical, allowing plenty of natural light into the Dwelling.
- 7) Straight lines with minimal accents
- 8) Exterior Materials
  - a) Allowed material combinations: stucco, brick, stone, board and batten, horizontal siding, vertical siding, etc.





**E. Plan Spacing and Repetition** *updated 1.22.2025***1. Founder: Added 1.22.2025**

Elevation	Street Side	Full Lot Spacing	Code
Same Elevation	Same side of Same Street	3	A
	Opposite side of Same Street	3	B
Different Elevation	Same side of Same Street	2	C
	Opposite side of Same Street	2	D
Same Elevation	Same side of Adjacent Street	3	E
	Opposite side of Adjacent Street	3	F
Different Elevation	Same side of Adjacent Street	2	G
	Opposite side of Adjacent Street	2	H
Considered Same as Another Plan Elevation	Same side of Same Street	3	I
	Opposite side of Same Street	3	J
Considered Same as Another Plan Elevation	Same side of Adjacent Street	2	K
	Opposite side of Adjacent Street	2	L

D	A	B	E	J	A	D	I
							E

J			D	G		B	G
							I
	J			D	B		

C	H	
C	H	
		L

I	B	A	I	C	J	A	D	L	C	B	C
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Plan	Elevation	Street Side	Full Lot Spacing	Code
Same Plan	Same Elevation	Same side of Same Street	4	A
		Opposite side of Same Street	4	B
	Different Elevation	Same side of Same Street	3	C
		Opposite side of Same Street	3	D
	Same Elevation	Same side of Adjacent Street	4	E
		Opposite side of Adjacent Street	4	F
	Different Elevation	Same side of Adjacent Street	3	G
		Opposite side of Adjacent Street	3	H
Different Plan	Considered Same as Another Plan Elevation	Same side of Same Street	4	I
		Opposite side of Same Street	4	J
	Considered Same as Another Plan Elevation	Same side of Adjacent Street	3	K
		Opposite side of Adjacent Street	3	L

A		B	E	D	A		E

	C			F	C		B	D
		J		G			G	

F			
	H		
K			L
		K	

I					I		J					L			H	
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**F. Masonry Requirements:** Determined by architectural style and location. *updated 1.22.2025***1.** Dwellings may be required to be 100% masonry. See Section Specific Masonry Plan**a.** Founder: Traditional Dwelling Plans: *Added 1.22.2025*

Product Type	1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor
Founder	100% with 2' - 5' masonry wrap to side elevations	100% front elevation with 2' - 5' masonry wrap to side elevations
Visible Elevations	100% with 2' - 5' masonry wrap to side elevations	100% masonry, including chimney, with 2' - 5' masonry wrap to side elevations

**b.** Classic, Heritage, Legacy: Traditional Home Plans:

Product Type	1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor
Classic	100% with 10' masonry wrap to side elevations	100% front elevation with 5' masonry wrap to side elevations
Heritage	100% with 10' masonry wrap to side elevations	100% front elevation with 5' masonry wrap to side elevations
Legacy	100% with 10' masonry wrap to side elevations	100% front elevation with 5' masonry wrap to side elevations
Visible Elevations	100% with 10' masonry wrap to side elevations	100% masonry, including chimney

**2.** Additional articulation: corner side and open space visible elevations**3.** Additional articulation for garage elevations within Public View:

- a.** Swing-In
- b.** Side Loaded
- c.** Detached Garage

**G. Exterior Materials:** Determined per Architectural style of the Dwelling and location of the Lot**1.** Masonry

- a.** Brick/stone/stucco
- b.** Hardie siding not considered masonry

**2.** Accents: wood, shutters, etc.

- a.** Per architectural style of the Dwelling
- b.** Exposed wood must be treated and/or stained

**3.** Siding:

- a.** Allowed per architectural style of the Dwelling
  - 1)** Hardie plank
  - 2)** Board and batten
  - 3)** Shake shingle
  - 4)** Cementitious equivalent materials
- b.** Prohibited:
  - 1)** Vinyl

**4.** Metal:

- a.** Per architectural style of the Dwelling

**H. Shirt Fronting:** Material changes may not occur at a front outside corner. *updated 1.22.2025*

1. Material must wrap from the front elevation to the side elevations:
  - a. Founder: *Added 1.22.2025*
    - 1) Minimum 2'-5' on the 1<sup>st</sup> floor, or to natural break as determined by the ARC
    - 2) Minimum 2'-5' on the 2<sup>nd</sup> Floor, or to natural break as determined by ARC
  - b. Classic, Heritage, Legacy:
    - 1) Minimum 10' on the 1<sup>st</sup> floor, or to natural break as determined by ARC
    - 2) Minimum 5' on the 2<sup>nd</sup> floor, or to natural break as determined by ARC

**I. Color and Repetition**

1. Colors:
  - a. Brick/stone/stucco/trim and accent paint per architectural style of the Dwelling and with ARC approval
    - 1) Limited to 3 colors
  - b. Allowed Dwelling Colors:
    - 1) Earth tones and neutrals
    - 2) White is permitted for farmhouse architecture style only
  - c. Prohibited Dwelling Colors:
    - 1) Pink, primary red, primary blue, primary green, and dark blue
  - d. Allowed Accent Colors:
    - 1) Determined by the architectural style of the Dwelling
2. Repetition:
  - a. Same color family may not be adjacent or directly across
  - b. Same color scheme may not be within 4 Dwellings

**J. Balconies:** Second Floor Rear Balcony

1. Allowed:
  - a. Backing or siding perimeter, reserve, parkland, open space, and private trail Lots with a minimum of 35' between Lots
2. Prohibited:
  - a. Backing or siding perimeter, reserve, parkland, open space, and private trail Lots with less than 35' between Lots

**K. Chimneys**

1. Can be used to establish an ornamental or thematic direction on architectural style
2. Materials:
  - a. Determined by architectural style of the Dwelling and the location of the Lot
    - 1) Traditional Lots requiring 100% masonry elevations: 100% masonry
3. Cap: Required
4. Fireplaces using metal spark arrestor or other metal venting apparatus at the top of the chimney must have painted a metal cowling surround installed atop the chimney.
5. All metal or other materials placed on top or around the chimney must be painted the same color as the chimney material.
6. Direct Vent: allowed if not visible within Public View.

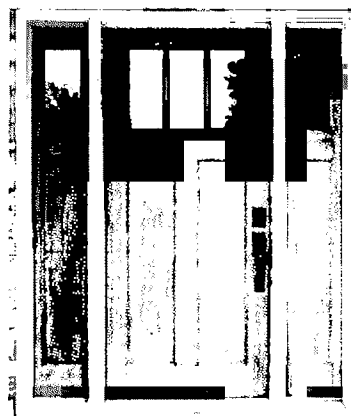
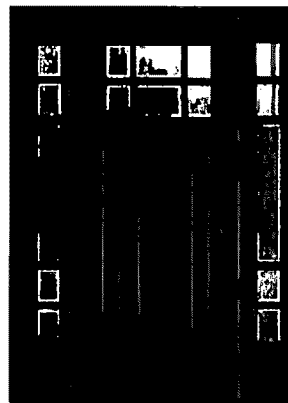
**L. Roofs:** Determined by the architectural style of the Dwelling

1. Materials:
  - a. Architecture shingle: 30-year warranty
  - b. Tile: 25-year clay tile

- c. Slate
- d. Standing seam metal
  - 1) Prohibited: Reflective, silver and corrugated tin
  - 2) All other exposed roof material must be located to the rear or side slopes, outside of Public View
- e. Colors:
  - i. Colors approved per the architectural style of the Dwelling
  - ii. Colors Prohibited: red, green, blue or as determined by the ARC
- 2. Pitches:
  - a. Dwelling Minimum and Maximum: determined by the architecture style of the Dwelling
    - 1) Traditional architecture style must be no less than 6:12
    - 2) Mediterranean architecture style must be no less than 4:12
- 3. Colors:
  - a. Allowed: Earth tones
    - 1) Blue, green and red subject to ARC Review and Approval
- 4. Roof Top Accessories
  - a. Skylights
    - 1) Must be integrated with the roof design, parallel to the roof pitch
    - 2) Framing must match the roof color
    - 3) Must receive ARC approval for placement
  - b. Plumbing or heating vents, stacks, gutters, flashing, or other projections must be placed outside of Public View if at all possible and must be painted to match roof material.

**M. Front Entry Doorways** *updated 1.22.2025*

- 1. Design: determined by the architectural style of the Dwelling.
- 2. The photos provide examples of front entry doorways for the purpose of understanding the particular style contemplated for the Property. The following photos reflect the architectural context to be expressed; not every architectural style is included nor does one single image capture the exact look.
  - a. Bungalow:



b. Contemporary:



c. Craftsman:



d. Farmhouse:



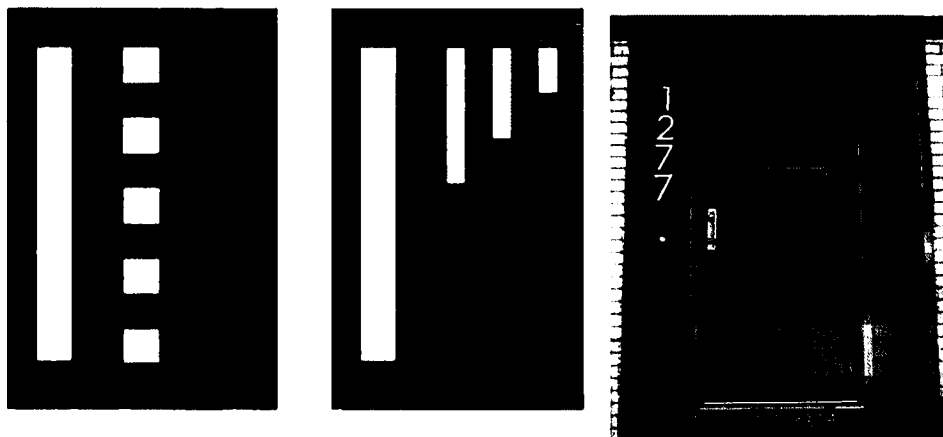
e. French Country:



f. Mediterranean:



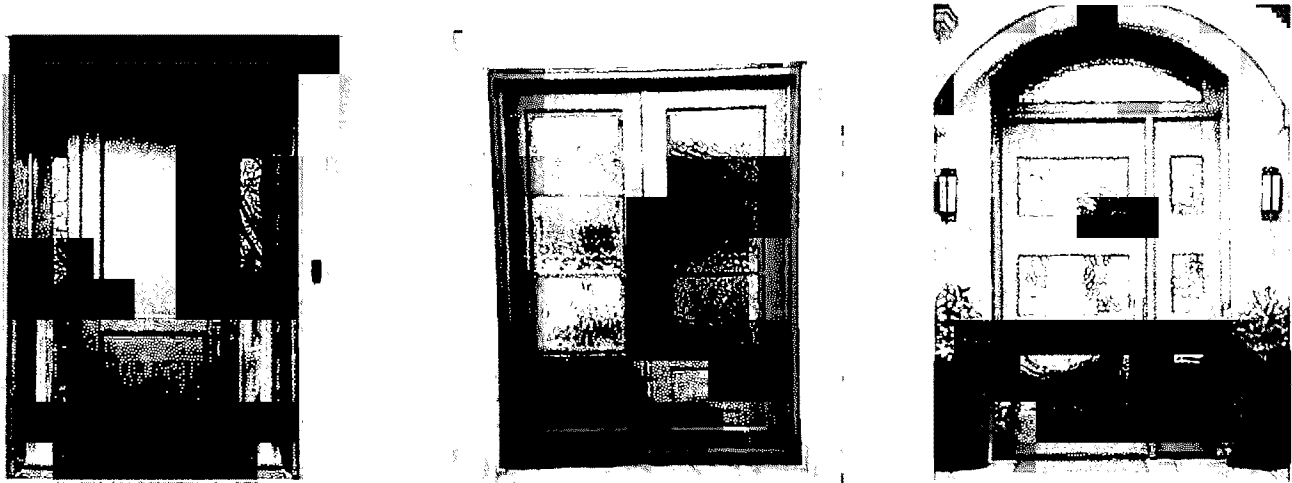
g. Mid Century Modern:



**h. Traditional: Upgraded Doors encouraged**



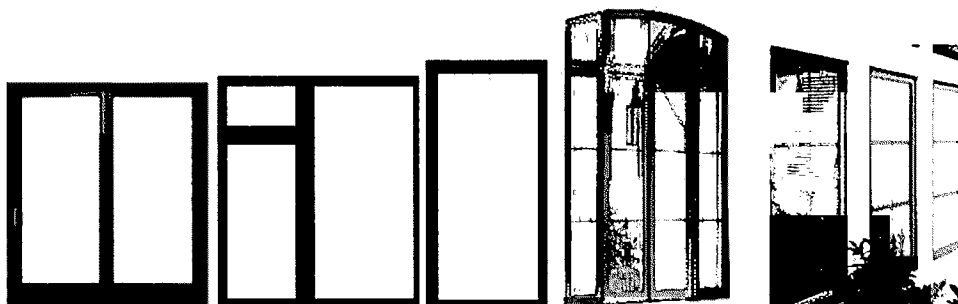
**i. Transitional: Added 1.22.2025**



**N. Windows updated 1.22.2025**

1. Design: Determined by the architectural style of the Dwelling. Metal window finishes must complement the architectural style and color of the Dwelling.
2. The photos provide examples of windows for the purpose of understanding the particular style contemplated for the property. The following photos reflect the architectural context to be expressed; not every architectural style is included nor does one single image capture the exact look.

**a. Contemporary:**





b. Craftsman:



c. Farmhouse:



d. French Country:



e. Mediterranean:



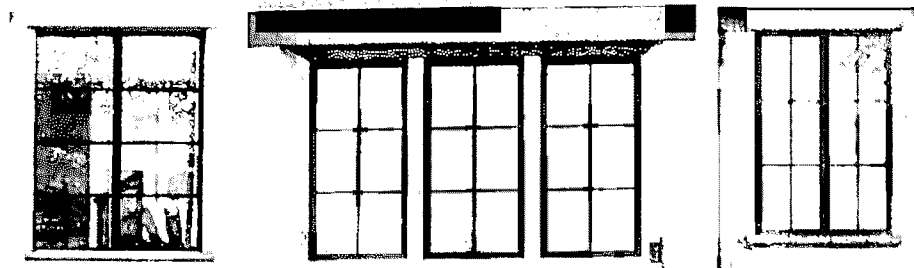
f. Mid Century Modern:



g. Ranch:



h. Transitional: Added 1.22.2025



3. Materials: wood, metal, vinyl-clad, double paned windows or higher quality must be used
  - a. Tinting: Encouraged for energy conservation purposes, must receive ARC approval
  - b. Glass block, frosted, or tinting is allowed for bathroom windows facing Public View.
  - c. Prohibited: clear anodized aluminum, reflective glass, and mirrored glazing or tinting

**O. Foundation** revised 7.25.2023

1. No more than 12" of vertical surface of the concrete slab may be exposed to Public View.
2. Exposed foundation must be screened.
3. No concrete, concrete block, or cinderblock may be used as an exposed building surface.
4. Any concrete, concrete block, or cinder block utilized in the construction of a Dwelling or other improvement or for retaining walls and foundation must be finished in the same materials utilized for the reminder of the Dwelling or other improvement.

**P. Garage Doors**

1. Design: Determined by the architectural style of the Dwelling
  - a. Heritage Lots and Legacy Lots: garage doors facing Public View require upgraded garage doors:
    - 1) Must have decorative/ornate designs to match the architectural style of the Dwelling, with ARC approval.
2. The photos provide examples of garage doors for the purpose of understanding the particular style contemplated for the Property. The following photos reflect the architectural context to be expressed; not every architectural style is included nor does one single image capture the exact look.
  - a. Traditional: Decorative hardware/accent/treatment required



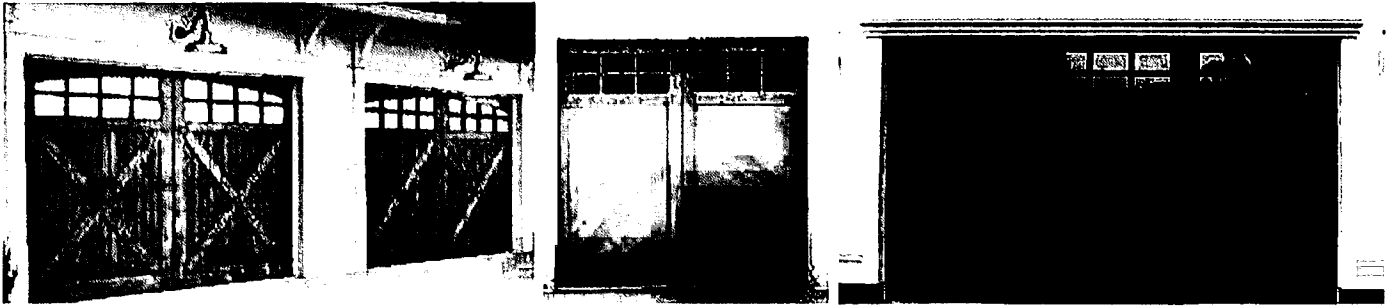
**b. Craftsman:**



**c. Contemporary:**



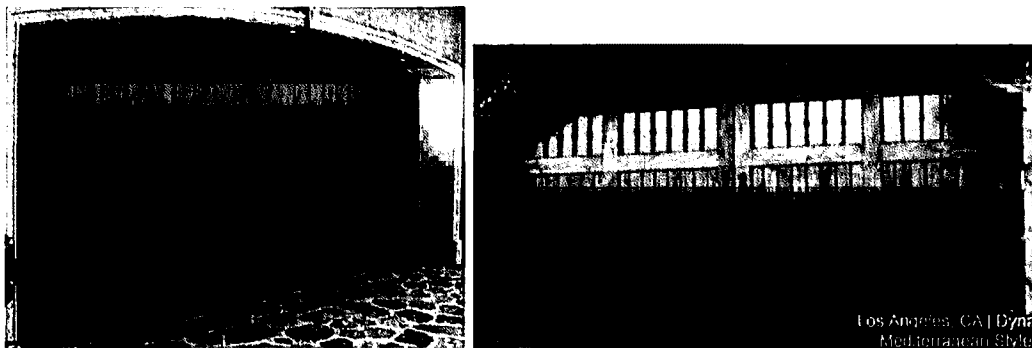
d. Farmhouse:



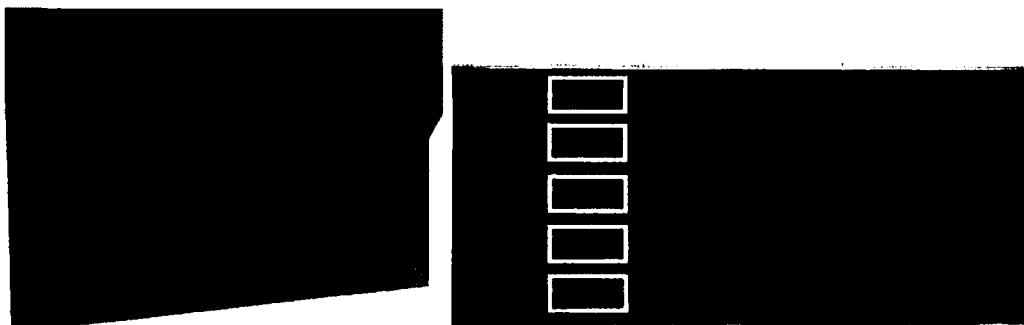
e. French Country:



f. Mediterranean:



g. Mid Century Modern:



3. Materials: wood or metal
4. Colors: determined by the architectural style of the Dwelling
  - a. Traditional: same as the Dwelling or darker than the Dwelling
5. Garage doors must be separated by a 12" minimum width column
  - a. 2 single garage doors
  - b. 1 single garage door and 1 double garage door

**Q. Plate Height:** Determined by the architecture style of the Dwelling

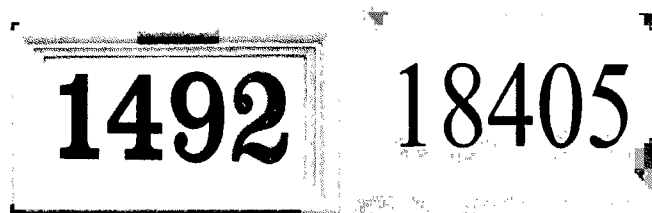
1. Traditional: 9' minimum exterior plate

**R. Lighting:** Determined by the architecture style of the Dwelling

1. All exterior lighting must be approved by the ARC for type, location, and illumination.
2. Cast aluminum or brass fixtures are permitted and must have ARC approval.
3. No lighting may be directed toward another Lot or illuminate beyond the boundaries of the Lot on which the lighting fixture is situated, including neighboring yards, streets, and public spaces.
4. Pathway and landscape lighting is encouraged, such lighting must be inconspicuous.
5. Prohibited: colored lighting, high intensity lighting such as mercury vapor, "spill over" lighting (onto neighboring yards, other properties, streets, or public spaces), exposed transformers and wiring

**S. Address Markers:** Determined by the architectural style of the Dwelling

1. Must receive ARC approval
2. The photos provide examples of address markers for the purpose of understanding the particular style contemplated for the Property. The following photos reflect the architectural context to be expressed; not every architectural style is included nor does one single image capture the exact look.
3. Allowed:
  - a. Standard Precast:



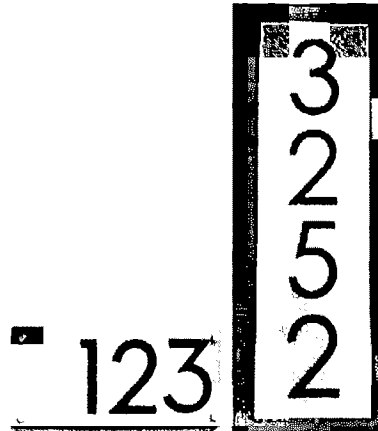
- b. Bronze Plate:



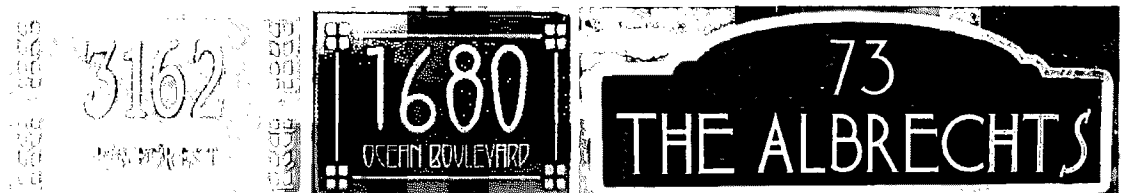
c. Bungalow:



d. Contemporary:



e. Craftsman:



f. Mid Century Modern:



g. Builder Specific Design

## T. Builder Signage

1. Model home identification sign:

- a. Builders are permitted 1 lighted sign per model home.
- b. Sign size, shape, material and color must have prior ARC approval.

2. Lot Identification sign:

- a. For advertising and sale of a Lot
- b. One sign per Lot
- c. Must meet the requirements set forth in the Declaration

3. Bandit signs and banners:
  - a. Prohibited.

#### U. Mail Box Clusters

1. U.S. Post Office standard mail clusters will be installed at appropriate locations.

### III. Landscape Guidelines

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#### A. General

1. These landscape guidelines provide the minimum requirements for all yard types.
  - a. Builders are encouraged to exceed the minimal requirements with native Texas trees, shrubs, ground covers and grasses from the Preferred Plant List.
  - b. The landscape of each Lot should provide an inviting curb appeal.
  - c. Plant proportions must be recognized and recommended by the American Standard for Nursery Stock.
  - d. Installation of all plants must conform to the standards of the American Association of Nurserymen.
2. Minimum planting depth of 5' required for all yard types.
3. Plantings should be in tiers by height with the larger varieties placed in the rear of the bed.

#### B. Lot Preservation

1. Lots with existing trees must have a preconstruction review to note trees greater than 3" at 12" above grade to be saved.
2. For further clarification, see Architectural Review Process for Preconstruction Review requirements.

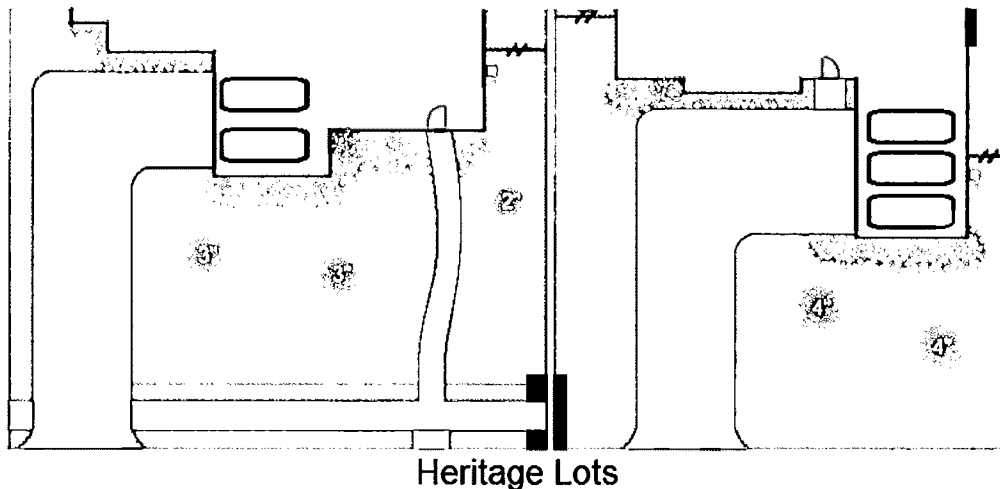
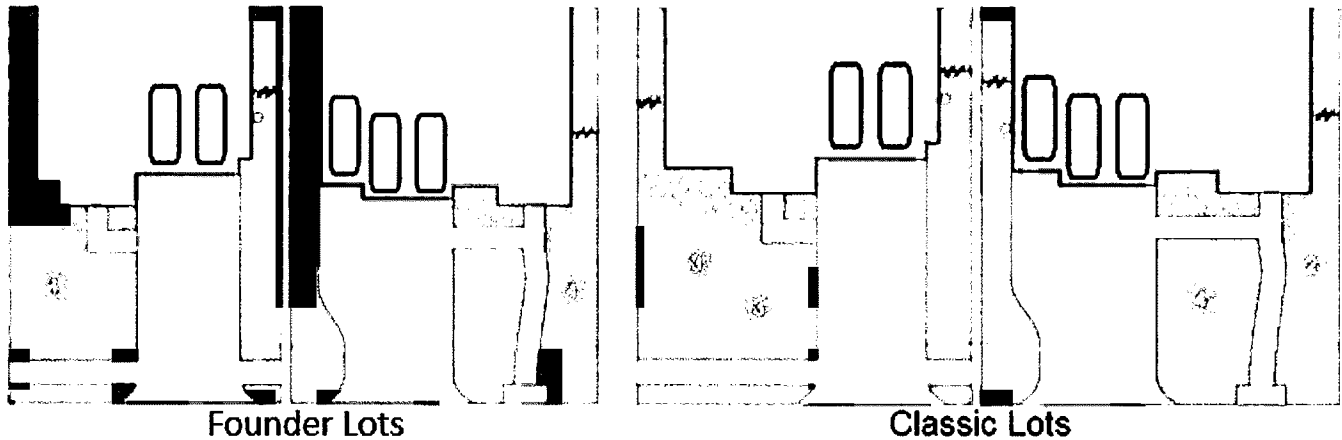
#### C. Yard Types *updated 1.22.2025*

1. Founder, Classic and Heritage:
  - a. Front Yard:
    - i. Planting beds must be curvilinear with the plants in massing
    - ii. See Front Yard Planting Area requirements
  - b. Corner: Lots whose side yards face a street
    - i. Plantings must be in clusters along fence facing the street.
    - ii. See Corner Side Planting Area requirements
  - c. Visible Rear Yard: Rear yards backing or siding a boulevard or collector road or visible from Public View.
    - i. Planting beds must be curvilinear with the plants in massing
    - ii. See Visible Rear Yard Planting Area requirements
  - d. Landscape Buffer: For visible fencing exceeding 30' in length and/or exposed foundation of Corner Lots and Open Space Lots
2. Legacy Lots
  - a. Landscape requirement to be determined on a case by case basis
    - i. All landscape plans must exceed minimal landscape plan.

#### D. Planting Requirements: Minimum requirements. *updated 1.22.2025*

1. Front Yard Planting Bed: Area between the front elevation and front right of way
  - a. Planting beds are encouraged along the walkway if walkway leads to the curb.

Front Yard Planting Area						
Lot Size	Required Yard Tree*	30 Gallon Ornamental Tree*	15 Gallon Shrubs	5 Gallon Shrubs	3 Gallon Shrubs	1 Gallon Plants**
Founder	One 4" caliper hardwood tree	NA	2	10	15	NA
Classic	6" total caliper, maximum 2 trees (i.e. one 4" and one 2", or two 3" caliper hardwood trees)	NA	4	20	25	NA
Heritage	8" total caliper, maximum of 3 trees (i.e. two 3" and one 2", or two 4" caliper hardwood trees)	1	4	25	30	35
Legacy	Landscape plan must exceed Heritage requirements					
All	Additional foundation screening required for visible foundation.					
*Tree caliper is measured 12" from base of tree						
**Perennials. Annuals do not apply to required plant count.						
Additional trees may be added from the Additional Tree List.						

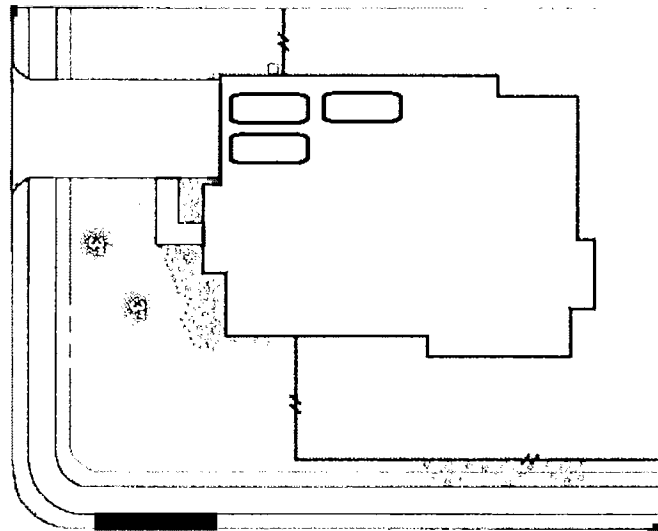


2. Corner Side Yard: Green space between the corner side elevation and the corner side right of way

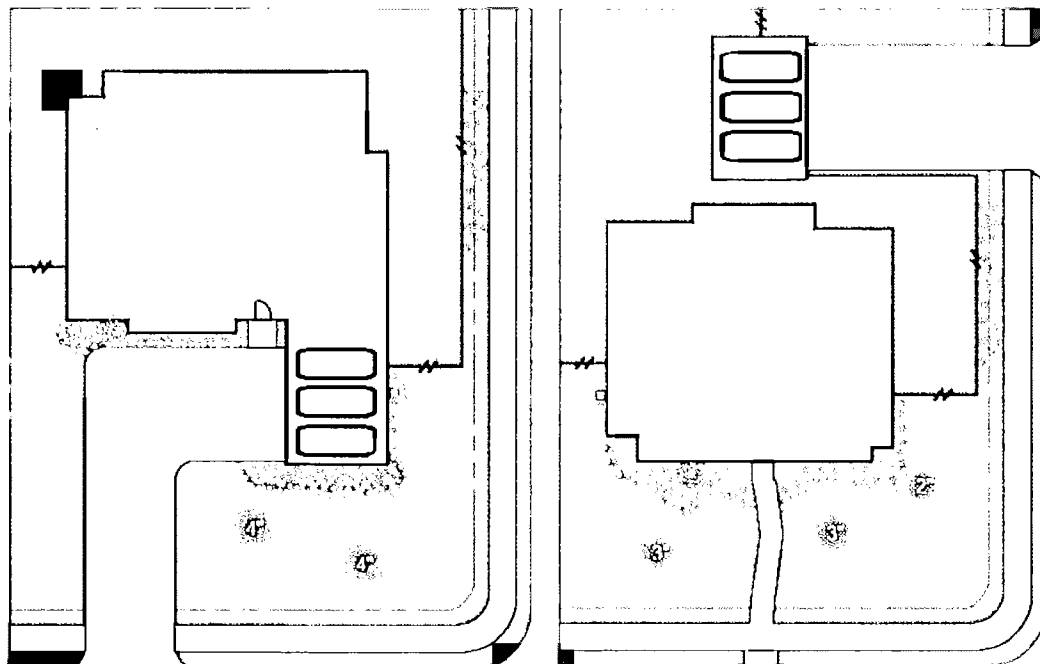


- a. The table reflects minimum requirements. Additional shrubs and design creativity are encouraged. *updated 1.22.2025*

Corner Side Planting Area		
Lot Size	15 Gallon Ornamental Tree	5 Gallon Shrubs
Founder and Classic	3	15
Heritage	3	15
Legacy	Landscape plan must exceed Heritage requirements	
All	Additional foundation screening required for visible foundation.	
*Tree caliper is measured 12" from base of tree		
*Visible fencing of 60' or more in length requires one corner Lot PLUS one 2" corner side tree.		



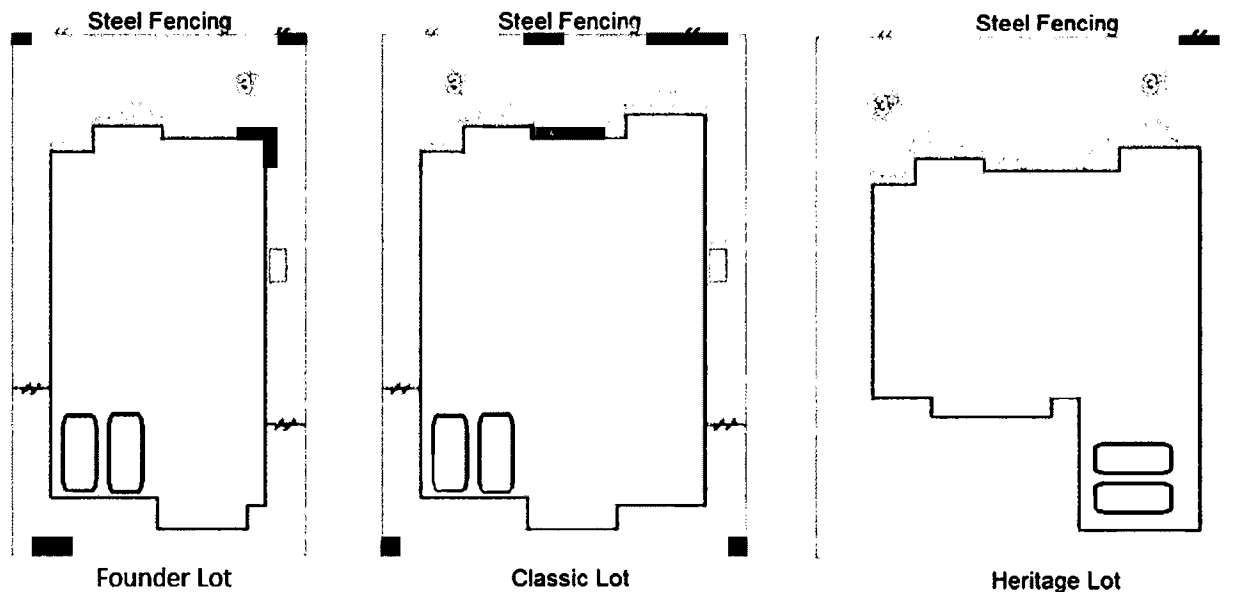
Classic Lots



Heritage Lots

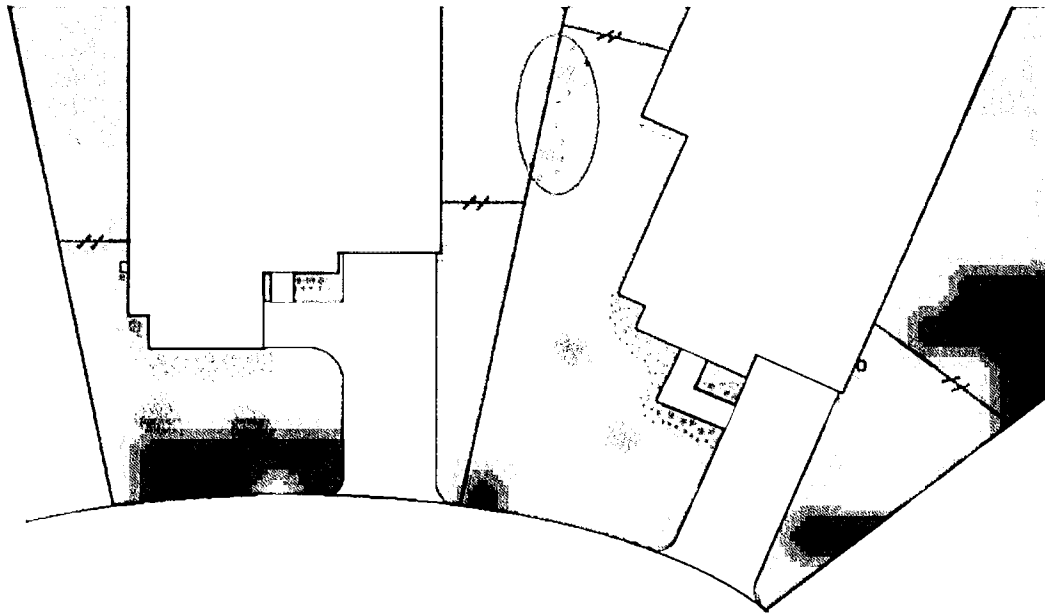
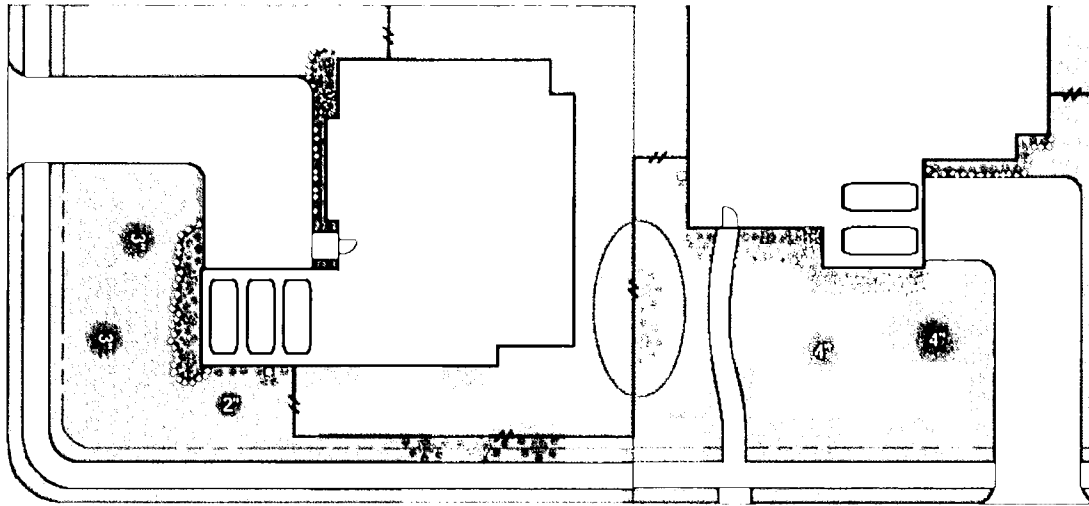
3. Visible Rear Yard: Rear yards that have a view. Landscape planting beds must be located along the rear of the Dwelling. Exposed foundations are prohibited. *updated 1.22.2025*

Visible Rear Yard Planting Area						
Lot Size	Yard Tree*	30 Gallon Ornamental Tree*	15 Gallon Shrubs	5 Gallon Shrubs	3 Gallon Shrubs	1 Gallon Plants**
Founder	One 3" caliper hardwood tree	0	0	10	15	NA
Classic	One 3" caliper hardwood tree	1	2	15	NA	20
Heritage	Two 3" caliper hardwood tree	2	3	15	NA	25
Legacy	Landscape plan must exceed Heritage requirements					
*Tree caliper is measured 12" from base of tree						
**Perennials. Annuals do not apply to required plant count.						



4. Landscape Buffer: For visible fencing exceeding 30' in length and/or exposed foundation of Corner Lots and Open Space Lots. *updated 1.22.2025*

Landscape Buffer		
Founder, Classic, and Heritage	2	10
Legacy	Landscape Plan must exceed Heritage requirements	
*All visible fencing more than 60' in length requires double the quantities above.		



**E. Screening:**

1. The following must be screened:
  - a. All utilities visible from Public View (utility boxes, pedestals, meters, etc.);
  - b. Foundation visible from right of way and/or Public View including exposed garage foundation facing the right of way; and
  - c. Pool, HVAC, water softeners, etc..
2. Screening must be of a height at least equal to half of the height of the equipment

**F. Sod**

1. Type
  - a. Permitted:
    - i. TifTuf Certified Bermuda grass
    - ii. Zeon Zoysia
2. Location:
  - a. All visible yard areas

3. Prohibited:
  - a. St. Augustine

**G. Mulch** *revised 5.11.2020*

1. Required Mulch:
  - a. Type:
    - i. Natural wood
  - b. Colors:
    - i. Brown or natural color, black
2. Prohibited Mulch:
  - a. Type: artificial
  - b. Colors: all other dyed colors

**H. Irrigation**

1. All visible yards

**I. Preferred Plant List** *revised 7.25.2023*

**Hardwood Yard Trees**

*Cerciscanadensis 'Texas Redbud'*  
*Fraxinus pennsylvanica*  
*Platanus mexicana*  
*Quercus laurifolia*  
*Quercus shumardii*  
*Quercus virginiana*

Texas Redbud  
 Green Ash  
 Mexican Sycamore  
 Laurel Oak  
 Shumard Oak  
 Live Oak

**Additional Trees**

*Crataegus marshallii* eggl.  
*Ilex decidua*  
*Ilex vomitoria*  
*Juniperus virginiana*  
*Liquidambar styraciflua*  
*Myrica cerifera*  
*Magnolia grandiflora*  
*Olea europaea 'Arbequina'*  
*Populus deltoides*  
*Quercus lyrata 'Highbeam'*  
*Quercus macrocarpa*  
*Quercus nuttallii*  
*Quercus polymorpha*  
*Taxodium distichum*  
*Taxodium mucronatum*  
*Ulmus americana*  
*Ulmus crassifolia*  
*Vitex agnus-castus*  
*Viburnum rufidulum*

Parsley Hawthorn  
 Possumhaw  
 Yaupon Holly  
 Eastern Red Cedar  
 Sweetgum  
 Southern Wax Myrtle  
 Magnolia  
 Arbequina Fruiting Olive  
 Eastern Cottonwood  
 Highbeam Overcup Oak  
 Burr Oak  
 Nuttall Oak  
 Monterrey Oak  
 Bald Cypress  
 Motezuma Cypress  
 American Elm  
 Cedar Elm  
 Chaste Tree  
 Blackhaw Viburnum

**Shrubs**

*Callicarpa americana* L.  
*Buddleia davidii*  
*Anisacanthus quadrifidus*  
*Rhus aromatic*  
*Ilex cornuta 'Burfordii'*  
*Ilex vomitoria 'Nana'*

Beautyberry  
 Butterfly Bush  
 Flame Acanthus  
 Fragrant Sumac  
 Burford Holly  
 Dwarf Yaupon Holly

*Lantana urticoides*  
*Nerium oleander* 'Dwarf'  
*Rosa radrazz*  
*Rosmarinus officinalis*  
*Leucophyllum frutescens*  
*Myricacerifera*  
*Distylium* 'Piidist-II' Plant Patent #24,409  
*Iteavirginica*  
*Juniperus x pfitzeriana* 'Sea Green'  
*Viburnum awabuki* 'Chindo'

Texas Lantana  
Dwarf Oleander  
Knockout Rose  
Rosemary  
Texas Sage  
Wax Myrtle  
Blue Cascade Evergreen Distylium  
Virginia Sweetspire  
Sea Green Juniper  
Chindo Sweet Viburnum

### Perennials

*Aloe cameronii*  
*Coreopsis integrifolia*  
*Dryopteris x australias*  
*Dietes bicolor*  
*Dianellarevoluta* 'Allyn-Citation' PP22965  
*Gauralindheimeri*  
*Iris hexagona*  
*Iris x robusta*  
*Iteavirginica*  
*Leucophyllum frutescens*  
*Liatris spicata*  
*Malvaviscus arboreus* var. *drummondii*  
*Muhlenbergia capillaris* 'Pink Muhly'  
*Nephrolepis biserrata*  
*Neomarica caerulea*  
*Rudbeckia fulgida* var. *Sullivantii* 'Goldstrum'  
*Sabal minor*  
*Zephyranthes candida*

Red Aloe  
Fringeleaf Tickseed  
Dixie Wood Fern  
Butterfly Flag  
Clarity Blue Dianella  
Lindheimer's Beeblossom  
Louisiana Iris  
'Gerald Darby' Iris  
Virginia Sweetspire  
Texas Sage  
Blazing Star  
Turk's Cap  
Gulf Coast Muhly  
Macho Fern  
Giant Walking Iris  
Coneflower  
Dwarf Palmetto  
Rain Lily

### Grasses

*Chasmodon latifolium*  
*Muhlenbergia capillaris* 'Irvine'  
*Muhlenbergia lindheimeri*  
*Miscanthus sinensis* 'Little Kitten'  
*Miscanthus sinensis* 'Morning Light'

Northern Sea Oats  
Plumetastic Pink Muhly Grass  
Lindheimer Muhly  
Little Kitten Grass  
Morning Light Maiden Grass

### Groundcovers

*Dichondra argentea* 'Silver Falls'  
*Eragrostis curvula*  
*Ficus tikoua*  
*Lantana x hybrid* 'New Gold'  
*Liriodendron 'Tidwell's Big Blue'*  
*Pennisetum alopecuroides* 'Hameln'  
*Rosmarinus officinalis* 'Prostratus'

Silver Falls Dichondra  
Weeping Lovegrass  
Sandy Leaf Fig Ivy  
New Gold Lantana  
Lily Turf  
Dwarf Fountain Grass  
Creeping Rosemary

### Vines

*Clematis paniculata*  
*Ficus pumila*  
*Gelsemium sempervirens*  
*Trachelospermum jasminoides*

Sweet Autumn Clematis  
Creeping Fig  
Carolina Jessamine  
Star Jasmine

## J. Prohibited Plant List revised 7.25.2023

1. All yucca plants, bamboo, cactus, invasive vines and ornamental trees, palms in front yard, Chinaberry, Chinese Parasol Tree, Chinese Pistache, Chinese Tallow, Common Privet, Common Water Hyacinth, Elephant Ear, Eurasian Watermilfoil, Giant Cane, Holly Fern, Japanese Honeysuckle, Johnson Grass, Kudzu, Mimosa (Silk Tree), Nandina, Paper Mulberry, Poison Ivy, Pyracantha, Running Bamboo, Russian Olive, Tamarisk (Salt Cedar), Tree of Heaven, White Mulberry, Wisteria

## IV. Construction Guidelines

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### A. Owner Compliance

The following Construction Guidelines apply to any and all work performed on or within Greens Prairie Reserve. Owners must comply with these Guidelines throughout all construction phases. Failure to comply with these Guidelines may result in enforcement action as determined in the sole discretion of the Association.

### B. Governing Authority

1. All Owners are bound by any County building codes and all other laws, codes, and ordinances of any other applicable governing authority.
2. All Owners must comply with the regulations of any governing authority, as well as all applicable Occupational Safety and Health Act Regulations and Guidelines (OSHA).

### C. SWPPP Permits

Builders must post required Large Site Construction Permits on designated posting signs designated by the ARC.

### D. Safety Items

Each Builder Field Super, Construction Manager, or Project Manager is required to have a 10lbs ABC-rated dry chemical fire extinguisher available on-site at all times.

1. It is recommended that at least three 10lbs ABC-rated dry chemical fire extinguishers be present and available in a conspicuous place on the construction site at all times.

### E. Construction Trailers, Portable Field Offices, Sales Trailers Etc.

Any Builder who desires to bring a sales trailer, construction trailer, or field office into Greens Prairie Reserve obtain prior written ARC approval. Requests must include a copy of the site plan with proposed location and description of the trailer or office.

1. All trailers are required to be completely skirted.
2. Landscape screening is required for all trailers and must receive ARC approval.
3. All storage areas require fencing on all sides.
4. All temporary sales structures must be removed upon completion of construction of the Builder's model home.

### F. Construction Access

The only approved construction access during the time a Dwelling or other improvement is under construction will be over the approved driveway on the Lot unless the ARC approves an alternative access point.

### G. Vehicles and Parking Areas

Owners are responsible for assuring that their contractors, subcontractors, and suppliers obey all requirements regarding driving and parking within Greens Prairie Reserve.

1. The Owner and its contractors, subcontractors, and suppliers must use extreme caution around occupied Lots.
  - a. Once occupied Lots exist, the Association may restrict parking to one side of the street only.
  - b. Owner or Occupant complaints will be courteously addressed and resolved quickly.

2. All Owners must ensure that their contractors, subcontractors, and suppliers operate vehicles within the speed limits posted within the Property.
  - a. Adhering to the speed limits should be a condition included in the contract between the Owner and the Owner's contractors, subcontractors, and suppliers.
3. Private and construction vehicles and machinery may be parked only within the Lot and construction area to which the vehicle pertains.
  - a. There may be no parking on, or otherwise use of, other Lots or any open spaces.
4. All vehicles must be parked so as not to inhibit traffic at any time.
  - a. Owners must ensure that their contractors, subcontractors, and suppliers immediately move vehicles involved in the unloading and loading of materials to allow for through traffic.
5. Owners must ensure their contractors, subcontractors, and suppliers park vehicles off of and away from tree roots and not under existing trees.

#### **H. Sanitary Facilities**

Sanitary facilities for Owner's construction workers must be supplied by each Owner.

1. Sanitary facilities must be maintained at all times
2. Sanitary facilities must be located on the Lot on which the construction activity is taking place.
3. Sanitary facilities may not be placed within the right of way of any Lot.

#### **I. Materials and Supplies**

Owners must maintain and manage all on-site materials and supplies throughout the construction phase.

1. Items must be stored on the slab or inside the Dwelling when not in use, or in an orderly fashion on the Lot.

#### **J. Debris and Trash Removal**

Owners must clean all trash and debris on the construction site on a daily basis.

1. During the construction period, each construction site must be kept neat and clean and must be properly policed to prevent it from becoming an eyesore or affecting other Lots or any open space.
2. Each Owner is required to construct a trash containment area within the Lot, outside of the right of way.
  - a. The trash containment area must be marked with the Lot address.
  - b. The trash containment area must be 4 sided and comprised of at least 4'x8' plywood.
3. Orange construction fence should be placed on the sides and the rear of the construction Lot to prevent construction debris from blowing onto adjacent Lots.
  - a. Lightweight materials, packaging, and other items must be covered or weighted down to prevent being blown off the construction site.
  - b. Owners are required to promptly retrieve all trash and debris blown onto streets and neighboring properties.
4. Owners are *prohibited* from dumping, burying, or burning trash anywhere within Greens Prairie Reserve.

#### **K. Excavation Materials**

Excess excavation materials must be hauled away from Greens Prairie Reserve and properly disposed of. Excavation materials may not be deposited on any Reserve Areas or on Lots not belonging to that Owner.

#### **L. EPA - SWPPP**

Each Owner must comply with the Environmental Protection Agency's Storm Water Pollution Prevention Program (SWPPP) and other governmental authorities on similar issues.

1. The SWPPP Book must be on-site at all times.
2. NOI / Large Construction Site notice must be posted at all times for all Lots.

3. SWPPP Plan and NOI / SWPPP Permit must be submitted with the site plan submittal for each Lot.

**M. Restoration or Repair of Other Property Damages**

Damage or scarring of any property outside the construction Lot, including, but not limited to, roads, driveways, sidewalks, lighting, utilities, vegetation and/or other improvements, etc. that results from construction operations will not be permitted.

1. If any such damage occurs, it must be repaired and/or restored promptly and at the expense of the Owner.

**N. Concrete Washout**

Concrete Washout for all Owners:

1. Roll-off containers must be used by all Owners
2. Roll-off containers must be maintained at all times:
  - a. Removal and replacement is required on a regular basis, as needed
  - b. Areas surrounding the roll-off must be maintained
  - c. Concrete spills must be removed immediately
3. Multiple Builders building within a section may share a roll-off container:
  - a. Cleanup of the "Washout" may be shared by all Builders on an alternating monthly basis or as needed.

**O. Street Cleaning**

All streets in front of a construction site are to be free from dirt, debris and spilled concrete.

1. Mud and dirt from the construction site on the paved streets, whether caused by the Owner or any of its contractors, subcontractors, or suppliers, must be promptly removed and the streets must be cleaned by the Owner.
  - a. All streets must be cleaned daily or as needed.
  - b. All streets must be clean each Friday before weekend sales activity.

**P. Sediment Control** *revised 7.25.2023*

As soon as earthwork commences, sediment control methods must be installed to filter all storm water runoff from the Lot into the public street.

1. Owners must conform to all regulatory agencies' rules, regulating standards, and criteria governing sediment control including, but not limited to, EPA-NPDES and Pollution Prevention Plan.
  - a. Owners are responsible for filing and securing all necessary permits.
2. Inlet Protection: Sediment control must be placed at all inlets.
  - a. Curb Inlet Protection: Such as Geocurve Inlet Filter, GutterEEL
  - b. Must cover entire length of inlet
  - c. Must be replaced as needed to prevent debris/silt from entering inlet
  - d. Must be removed when construction is completed in all surrounding areas
  - e. Inlets must be free of debris and accumulated silt at all times
  - f. Sand/gravel bags are prohibited.
3. Sediment Control Measures:
  - a. Must be installed on all Lots
  - b. Must remain in place and in good repair until construction is complete, provided, however, that they may be removed when landscaping is installed and lawns are established
  - c. Must be maintained at all times
  - d. Must be repaired or replaced as needed to contain silt

**Q. Lot Maintenance**

At all times Owners shall maintain all Lots owned by the Owners.

1. All weeds and grass must be cut in a low-laying and attractive manner.
2. No Lot may be used for the storage of materials or equipment except for normal residential requirements or incident to construction of improvements.



- a. In such case, all materials and equipment shall be stored so as not to be visible from Public View.
- 3. Debris must be removed from all empty Lots daily

#### R. Illegal Dumping

Dumping of any type onto an empty Lot or construction site is *prohibited*.

- 1. Building materials that obviously belong to another Builder must be picked up by that Builder.

#### S. Miscellaneous and General Practices

- 1. All Owners will be completely responsible for the conduct and behavior of their agents, representatives, contractors, and subcontractors while in Greens Prairie Reserve.
- 2. The following practices are *prohibited*:
  - a. Changing oil of any vehicle or equipment on the Lot itself or in any other location within Greens Prairie Reserve.
  - b. Allowing concrete suppliers, plasterers, painters, or any other contractors or subcontractors to clean their equipment anywhere other than in designated location(s) approved by the ARC.
  - c. Removing any rocks, plant material, topsoil, or similar items from any property or construction site within Greens Prairie Reserve.
  - d. The use of other Owners' or Occupants' utilities without their written consent.
  - e. Using disposal methods or equipment other than those approved by the ARC.
  - f. Careless disposition of cigarettes or other flammable material.
  - g. The use of illegal drugs or alcohol.
  - h. Destruction or removal of protected plant materials or plants without prior approval by ARC.
  - i. The bringing of pets, including dogs, into Greens Prairie Reserve by Builders or construction personnel.
- 3. Radios and other audio equipment:
  - a. May be used only during construction hours
  - b. Must not be heard from outside the construction site
- 4. Catering Trucks/Food Services:
  - a. Trash generated by the purchase of items from any catering truck must be contained and disposed of properly.
  - b. The use of horns not used for traffic safety by any catering trucks is prohibited.

#### T. Daily Operation

Daily working hours for each construction site are as follows:

<b>Monday – Friday:</b>	<b>7 a.m. to 7 p.m.</b>
<b>Saturday:</b>	<b>9 a.m. to 6 p.m.</b>
<b>Sunday:</b>	<b>10 a.m. to 6 p.m.</b>
<b>Designated Holidays:</b>	<b>9 a.m. to 6 p.m.</b>

Owners may acquire permits from the City to begin concrete work prior to 7am. Proof of permit must be submitted to the ARC.

Construction hours may be subject to change per requirements of applicable City/County ordinances and may be modified as determined by ARC from time to time.

## V. Architectural Review Process

#### A. Introduction

The official submittal of plans and specifications to the ARC is to provide a review process for conformance to the Dedicatory Instruments for the Property, including these Guidelines. It is the Owner's responsibility to ensure compliance with the Declaration and these Guidelines. All new

construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures must be reviewed and approved by the ARC prior to commencement of any on-site building or construction activity. Prior to construction, the site plan, architecture plan, and landscape plan must be approved in writing by the ARC. A final review before closing of transfer of title to a Lot from a Builder to an Owner (who is not a Builder) is also mandatory.

**Master Plan, Site Plan Submittals, Pre-Construction and Final Review** requests must be emailed to:

**beverly@mccauleyarc.com**

**Fees** must be sent, payable to McCauley Architectural Reviews, Inc.:

**Greens Prairie Reserve ARC  
13711 Pristine Lake Lane  
Cypress TX 77429**

The ARC will review all submittals. Submittals will receive either an Approval, a Conditional Approval, or a Disapproval, as set forth below. Construction may not begin without a signed Approved or Conditionally Approved submittal.

1. **"Approved"** or **"Approval"** - The entire application is Approved as submitted.
2. **"Conditionally Approved"** or **"Conditional Approval"** - The application is not Approved as submitted. A Conditional Approval is granted with the understanding that all conditions requested by the ARC will be met before, during, or after construction. Failure to agree to the conditions requested will deem the application Disapproved. The Owner may be required to resubmit prior to the construction or alteration in order to receive Approval.
3. **"Disapproved"** or **"Disapproval"** - The entire application as submitted is rejected. The ARC may provide comments, though the ARC is not required to do so. If the ARC fails to respond within 20 days, the Owner may give the ARC written notice of its failure to respond. Unless the ARC responds within an additional 10 days of receipt of such notice, the submittal will be deemed automatically Disapproved.

**Variances** – Reasonable variances may be granted upon written request to the Board or Declarant, as set forth in the Declaration. The Owner must address the variance request in writing and the reason(s) why the request should be granted. All Owners must comply with the conditions for approval that may be imposed on a variance.

- B. Founder, Classic and Heritage Submittal Requirements** Only complete submittals will be reviewed. Owners are responsible for compliance with all governing codes and ordinances.

#### **Master Plan Submittal**

**Check for \$125.00 – Fee includes all elevations per submittal**

Full set of 11x17" plans showing:

- Define elevation styles
- All elevations including detached garages and porte cocheres
- AC living square footage
- All floor plans, including options
- Roof pitches and plate heights
- All materials to be used on all elevations

#### **Site Plan Submittal**

**Check for \$200.00: Includes Site Plan Review, Form Survey Review, Lot Grading & Slab Elevation Confirmation, SWPPP Plan, and first Final Review**

Site plan showing the following:

- Setbacks – building lines, rights of way, easements

- Proposed slab layout to be included with each site plan
- NOI / Stormwater Construction General Permit copy
- Fencing – type and placement
- Driveway – material, size, placement and radius
- Sidewalk- size and placement
- Walkway – material, size and placement
- AC unit placement
- Exterior Selections – manufacturer and color:
  - Brick/stucco/stone
  - Garage, trim, accent and shutter
  - Roofing material

### **Form Survey**

- Completed Form Survey:
  - Upon completion of form boards installation, a Completed Form Survey must be submitted noting all 4 corners of the form.
  - The ARC will confirm that the Completed Form Survey matches the Proposed Slab Layout.
- Approved Form Survey:
  - Upon completion of review, the Approved Form Survey will be sent to the Owner.
  - Once received, foundation approved may begin

### **Lot Grading and Slab Elevation**

- All Lots must comply with the Lot Grading Exhibit for Lot specific grading and slab elevation.
  - Upon completion of the form, an "As Built Topography Survey" showing elevation shots of each item noted on page 4 of the Lot Grading Exhibit must be submitted
  - Complete "As Built Survey" must be sent to the ARC
  - The ARC will confirm that the elevation shots meet the Lot Grading Exhibit requirements.

### **Site Plan Re-submittal fee:**

**\$75.00** for changes to previously approved or unapproved site plan

### **Pre-Construction Review**

**\$50.00 Fee:** Required for all Lots with existing trees

- Required for all Lots with existing trees to determine what trees may be saved
- Must be requested by the Owner prior to any construction on the Lot
- Footprint of the Dwelling, driveway, patio, and walkway must be marked with survey tape prior to the review.
- Trees that are 6" caliper or larger and no closer than 5' from the foundation may be required to be saved.
- Trees are measured 12" from ground level.
- Trees to be saved will be marked with *pink* survey tape.

Site underbrushing, clearing, or Dwelling construction may not begin without site plan Approval and an Approved pre-construction review.

### **Final Reviews**

A mandatory approved final review is required for all Lots to be conveyed within Greens Prairie Reserve from a Builder to an owner who is not a Builder to confirm compliance with plans Approved by the ARC and with the requirements of these Guidelines.

- The first final review fee is included in the site plan submittal fee.
- Final reviews must be requested by the Builder via email, no less than 5 business days prior to closing.

- Final reviews requested within 5 business days may be subject to additional fees:
  - \$150 within 3 business days of closing
  - \$250 within 24 hours of closing
  - Final reviews will be conducted every 2 weeks or as needed.
- One or more re-reviews may be required for Lots found non-compliant until all items are compliant
  - \$75 fee for each re-review
  - Corrections must be made within 2 weeks of the first final review.
  - Re-reviews will be conducted every 2 weeks or as needed.

### **Changes After Approval**

All proposed changes to plans that affect the exterior of any building, or that affect the exterior colors, windows, grading, flatwork, etc. must be submitted to and approved in writing by the ARC prior to implementation.

- \$45 fee for each exterior material and color selection change requested by an Owner
- \$75 fee for all other changes requested by an Owner

### **C. Legacy Submittal Requirements**

Only complete submittals with the attached forms will be reviewed. Owners are responsible for compliance of all governing codes and ordinances.

#### **Master Plan Submittal**

**\$450.00 Fee: Includes all elevations per Submittal, Site Plan Review, Form Survey Review, Lot Grading & Slab Elevation Confirmation, SWPPP Plan, and first Final Review**

Full set of 11x17" plans showing the following:

- Elevation style
- All elevations including detached garages and porte cocheres
- AC living square footage
- Floor plans, including options and bonus options
- Roof pitches and plate heights
- All materials to be used on all elevations

#### **Site Plan Submittal**

Site Plan showing:

- Setbacks – building Lines, rights of way, easements
- Proposed slab layout to be included with each site plan
- NOI / Storm Water Construction General Permit copy
- Fencing – type and placement
- Driveway – material, size, placement and radius
- Sidewalk- size and placement
- Walkway – material, size and placement
- AC unit placement
- Driveway/walkway paving material
- Exterior Selections – manufacturer and color
  - Brick/stucco/stone
  - Garage, trim, accent, and shutter
  - Roofing material

#### **Form Survey**

- Completed Form Survey:
  - Upon completion of form boards installation, a completed form survey must be submitted noting all 4 corners of the form.
  - The ARC will confirm that the completed form survey matches the proposed slab

layout.

- Approved Form Survey:
  - Upon completion of review, the approved form survey will be sent to the Owner.
  - Once received, the foundation is approved to begin.

### **Lot Grading and Slab Elevation**

- All Lots must comply with the Lot Grading Exhibit for Lot specific grading and slab elevation.
  - Upon completion of the form, an "As Built Topography Survey" showing elevation shots of each item noted on page 4 of the Lot Grading Exhibit must be submitted.
  - Complete "As Built Survey" must be sent to the ARC.
  - The ARC will confirm that the elevation shots meet the Lot Grading Exhibit requirements.

### **Site Plan Re-submittal fee:**

**\$150.00** for changes to site or plan

### **Pre-Construction Review:**

**\$50.00 Fee:** Required for all Lots with **existing trees**

- Required for all Lots with existing trees to determine what trees may be saved
- Must be requested by the Owner prior to any construction on the Lot
- Footprint of the Dwelling, driveway, patio, and walkway must be marked with survey tape prior to review
- Trees that are 6" caliper or larger and no closer than 5' from the foundation may be required to be saved
- Trees are measured 12" from ground level.
- Trees to be saved will be marked with *pink* survey tape.
- \$50 re-review fee for additional pre-construction review if needed

Site under-brushing, clearing, and Dwelling construction may not begin without Master Plan Approval, Site Plan Approval and an Approved Pre-Construction Review.

### **Final Review**

Mandatory approved final review is required for all Lots to be conveyed within Greens Prairie Reserve from a Builder to an Owner who is not a Builder, to confirm compliance with plans Approved by the ARC and with these Guidelines.

- First final review fee is included in site plan submittal fee.
- Final reviews must be requested by the Builder via email, no less than 5 business days prior to closing.
- Final reviews requested within 5 business days may be subject to additional fees:
  - \$150 within 3 business days of closing
  - \$250 within 24 hours of closing
- Final reviews will be conducted every 2 weeks or as needed.
- One or more re-reviews may be required for Lots found non-compliant until all items are compliant
  - \$75 fee for each re-review applies to any Lot found non-compliant.
  - Corrections must be made within 2 weeks of the first final review.
  - Re-reviews will be conducted every 2 weeks or as needed.

### **Changes after Approval**

All proposed changes to plans that affect the exterior of any building, or that affect the exterior colors, windows, grading, flatwork, etc. must be submitted to and approved in writing by the ARC prior to implementation.

- \$45 fee for each exterior material and color selection change requested by an Owner

- \$75 fee for all other changes requested by an Owner

## **VI. Exhibits**

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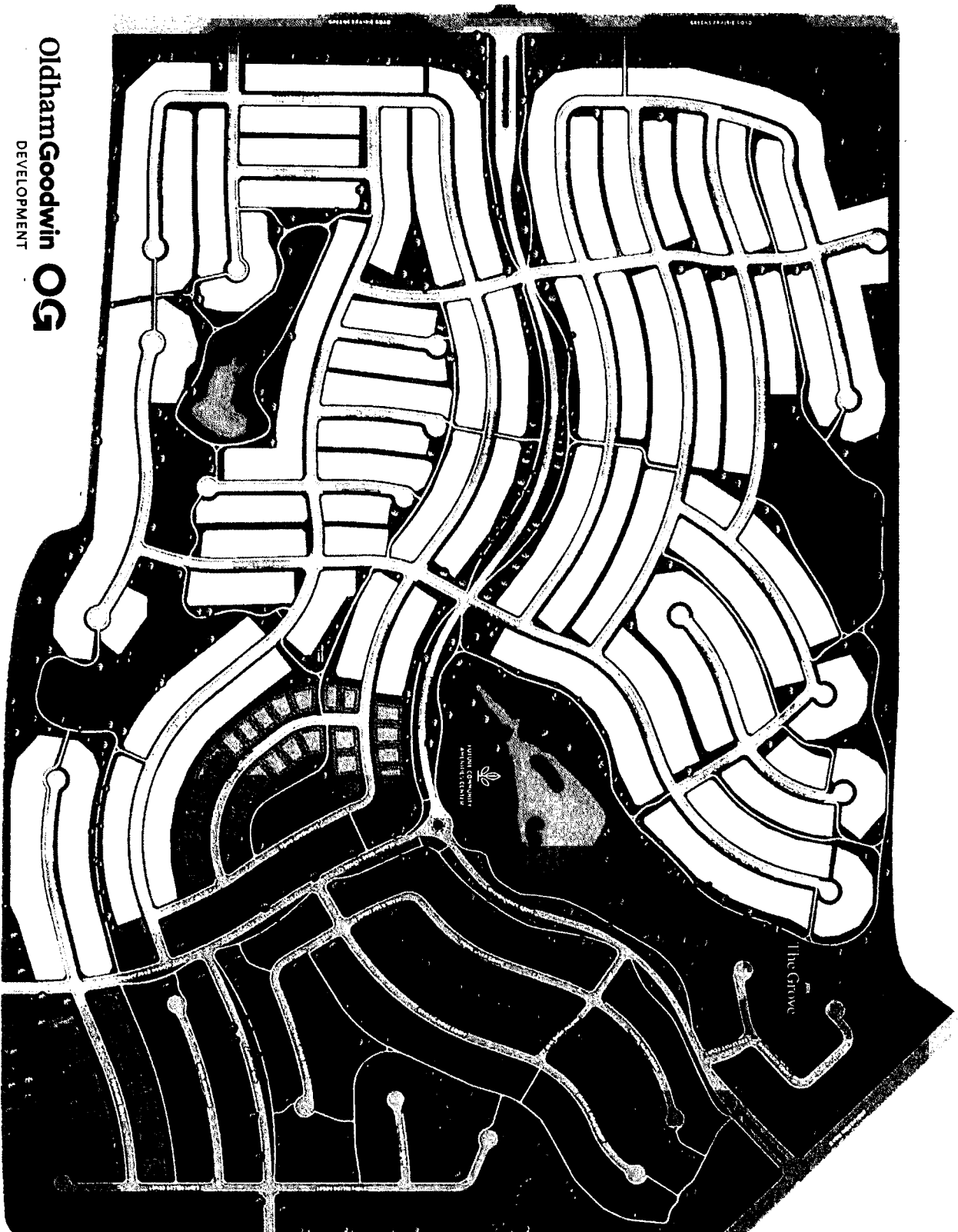
- **Master Site Plan**
- **Lot Type By Phase**
- **Fence Paint Maintenance Guide**
- **Phase Planning: By Phase**
  - **Lot Grading Exhibit**
  - **As Built Topography Survey**
  - **Fencing Plans**

## **VI. Exhibits**

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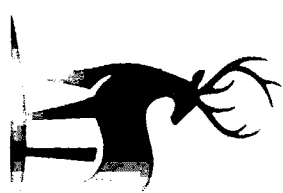
- **Master Site Plan**
- **Lot Type By Phase**
- **Fence Paint Maintenance Guide**
- **Phase Planning: By Phase**
  - **Lot Grading Exhibit**
  - **As Built Topography Survey**
  - **Fencing Plans**

# MASTER SITE PLAN



OldhamGoodwin  
DEVELOPMENT **OG**

info@greensprairiereserve.com | (979) 243-2000 | greensprairiereserve.com



## GREENS PRAIRIE RESERVE

### LEGEND

- Homesites - Coming Soon
- Homesites
- Future Development
- Natural Areas
- Ponds
- Trail System





## Lot Type By Phase

### Phase 102:

- Block 1, Lots 1-16 | Classic
- Block 1, Lots 17-40 | Heritage
- Block 1, Lots 41-61 | Classic
- Block 2, Lots 1-11 | Classic
- Block 2, Lots 12-20 | Heritage
- Block 3, Lots 1-15 | Classic

### Phase 104:

- Block 4, Lots 1-20 | Classic
- Block 5, Lots 1-5 | Classic
- Block 19, Lots 1-14 | Classic
- Block 20, Lots 1-4 | Classic
- Block 21, Lots 1-2 | Classic

### Phase 105:

- Block 5, Lots 5-8 | Heritage
- Block 5, Lots 9-10 | Legacy
- Block 6, Lots 1-7 | Heritage
- Block 7, Lots 1-6 | Heritage

### Phase 106:

- Block 8, Lots 1-18 | Legacy

### Phase 301:

- Block 57, Lots 1-30 | L&L

### Phase 401B:

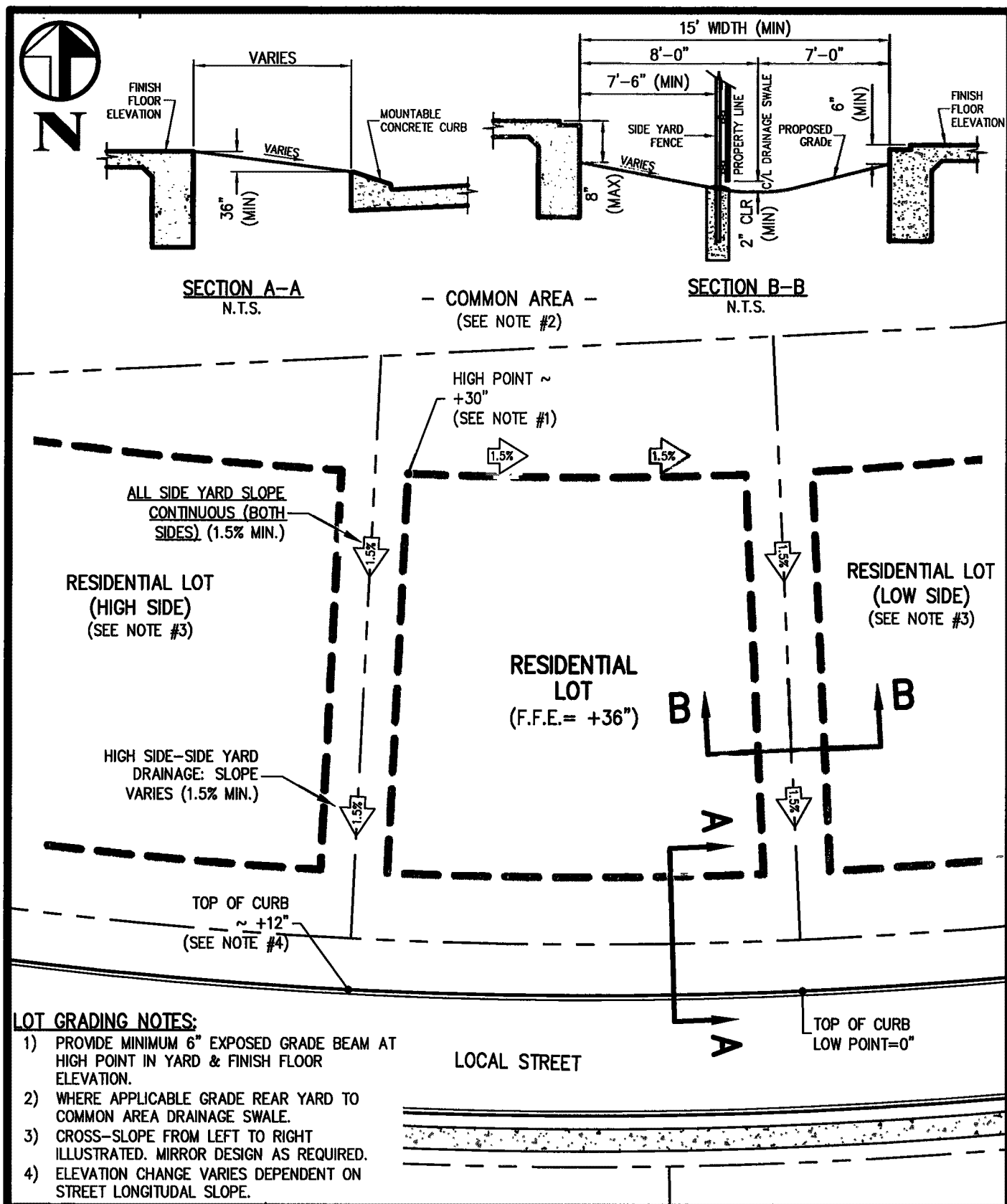
- Block 22, Lots 1-12 | Legacy

### Phase 402:

- Block 21, Lots 3-19 | Classic
- Block 24, Lots 1-14 | Classic
- Block 24, Lots 15-21 | Founder
- Block 25, Lots 1-5 | Founder

### Phase 404:

- Block 19, Lots 15-18 | Classic
- Block 20, Lots 5-14 | Classic
- Block 26, Lots 1-14 | Classic



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 102  
SIDE REAR to FRONT: LOT GRADING**

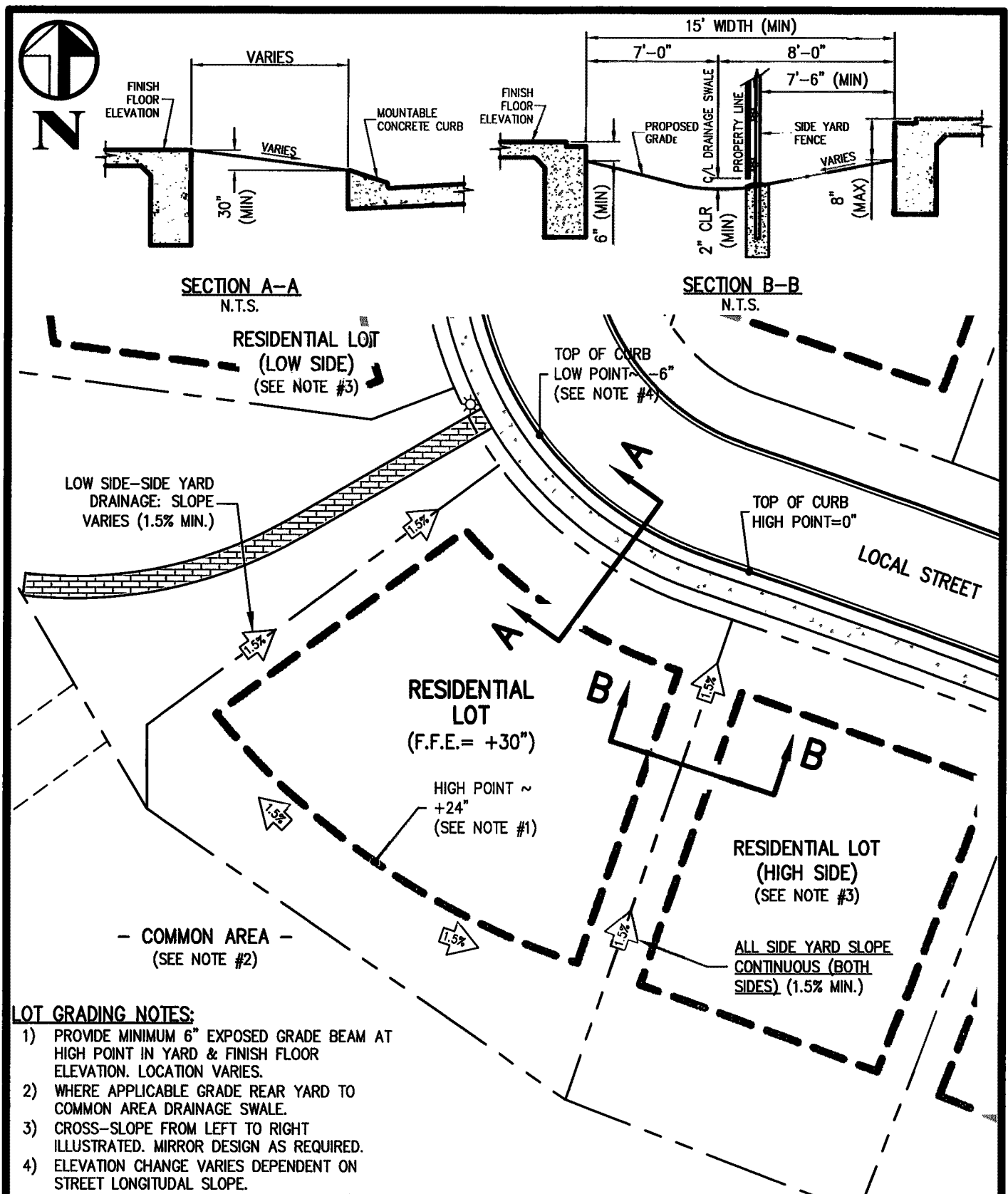
BLOCK ONE, LOTS 1-8 & 11-16 & 18-22  
BLOCK ONE, LOTS 30-47 & 54-56 & 60, 61  
BLOCK TWO, LOTS 2 & 7-15  
BLOCK THREE, LOTS 3-11 & 13-20  
RME No. 325-0642

REV: 1  
DATE: 3/15/19  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
1 OF 4

SHEET TITLE  
**X-1**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 102**  
**MID REAR to FRONT: LOT GRADING**  
BLOCK ONE, LOTS 1, 17, 48-53 & 57-59  
BLOCK TWO, LOTS 1-6  
BLOCK THREE, LOTS 1, 2 & 12

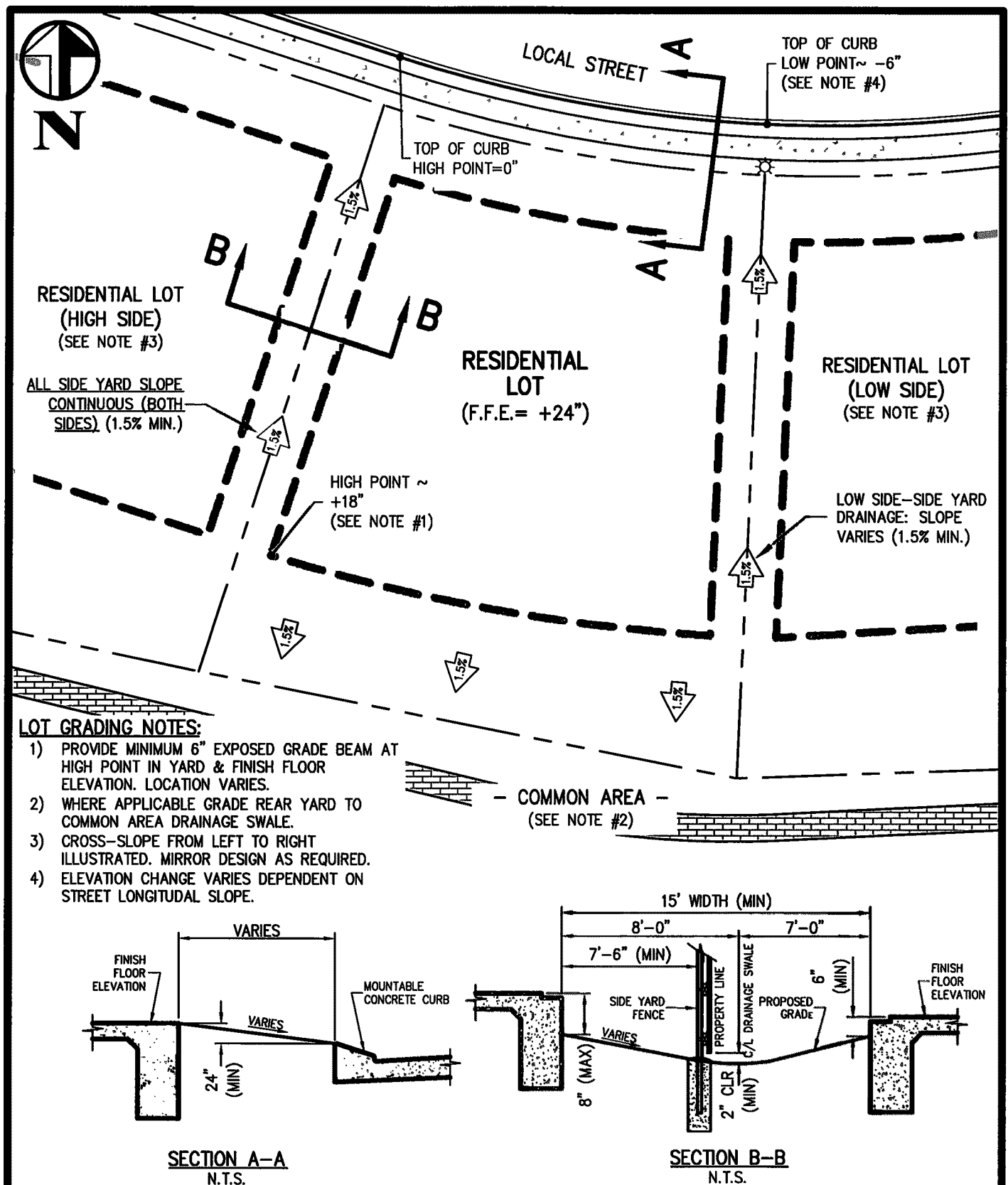
RME No. 325-0642

REV: 1  
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FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
2 OF 4

SHEET TITLE  
**X-2**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 102**  
**SPLIT REAR & FRONT: LOT GRADING**  
BLOCK ONE, LOTS 9, 10, 23-29

RME No. 325-0642

REV: 1  
DATE: 3/15/19  
FILE: LOT-GRADING  
SCALE: 1"=30'

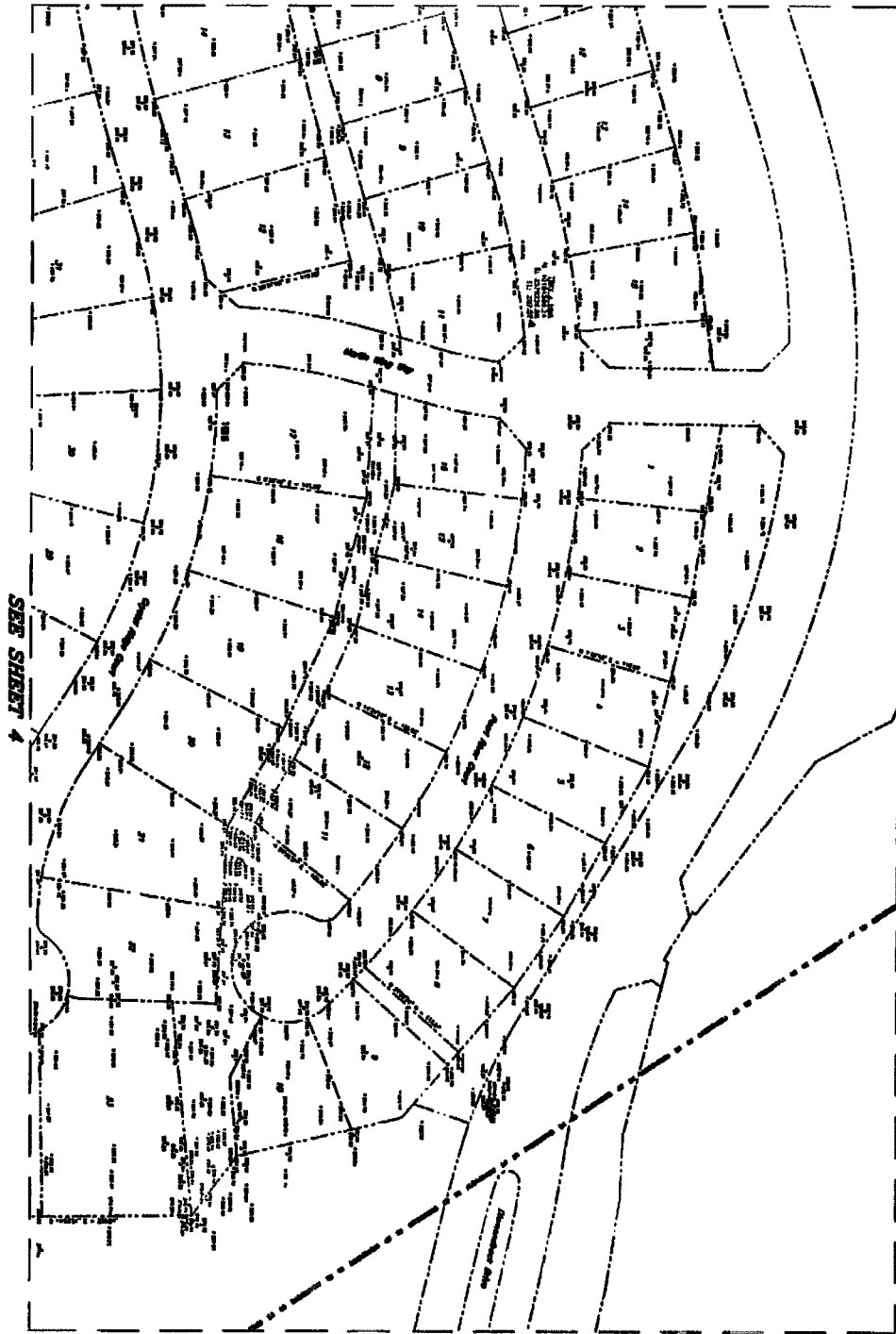
DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
3 OF 4

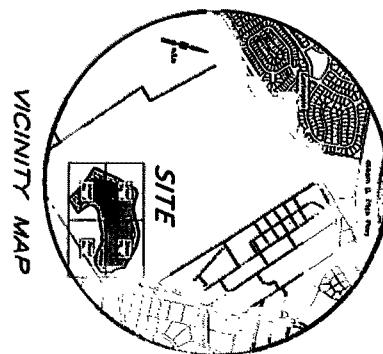
SHEET TITLE  
**X-3**



SEE SHEET 1



SEE SHEET 4



VICINITY MAP

**AS-BUILT  
TOPOGRAPHIC SURVEY  
JULY 12, 2019**

**GREENS PRAIRIE RESERVE  
SECTION 1, PHASE 102**

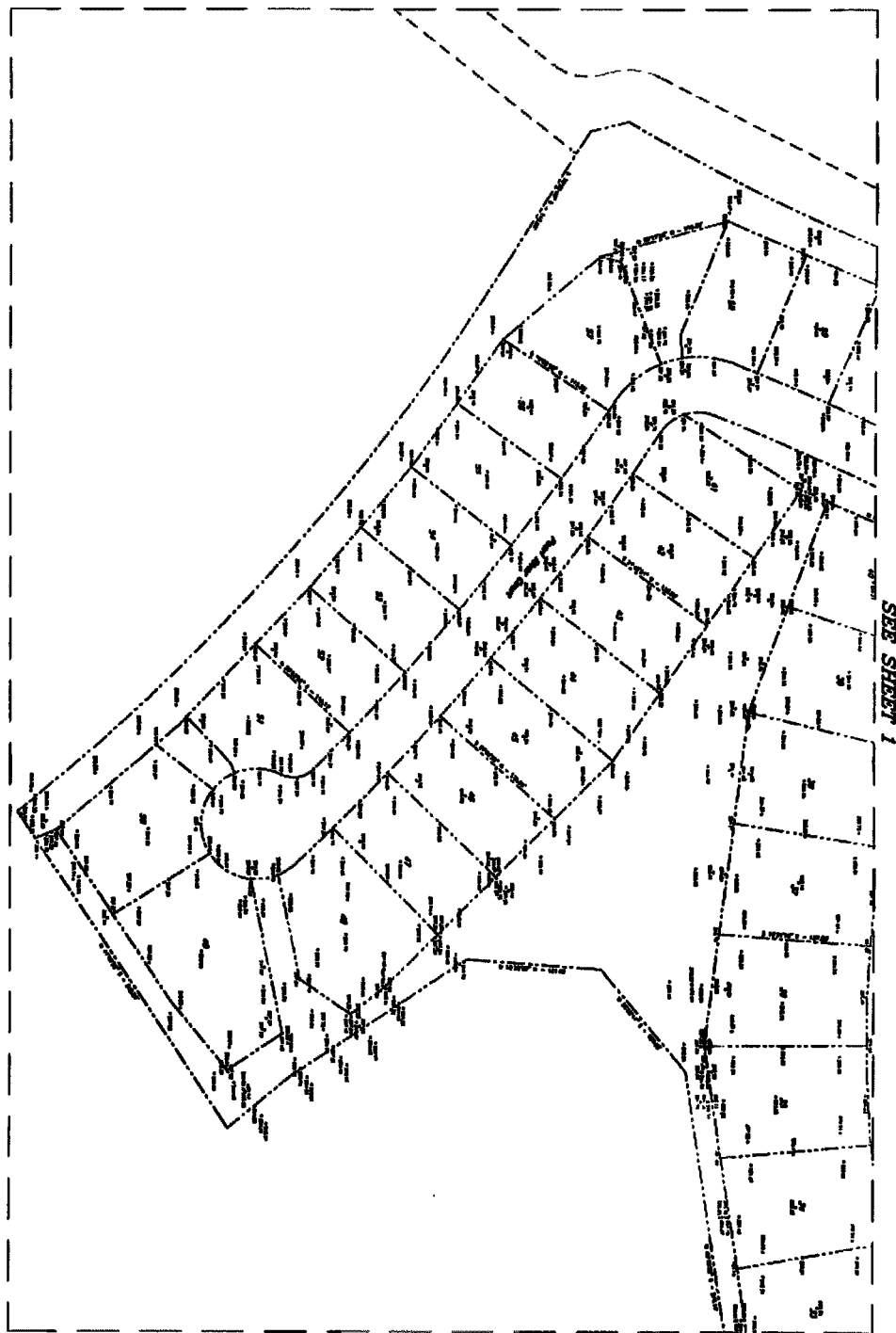
WILLOW CREEK SURVEY, A-101  
COLLEGE STATION, BRAZOS COUNTY, TEXAS

FIELD WORK COMPLETED JULY 1, 2019

SCALE: 1" = 40'

Surveyed by: J. A. Lutz  
Checked by: J. A. Lutz  
Drawn by: J. A. Lutz  
Reviewed by: J. A. Lutz  
Date: July 12, 2019  
Project: Greens Prairie Reserve  
Section 1, Phase 102  
Sheet: 1 of 1

2



SEE SHEET 4

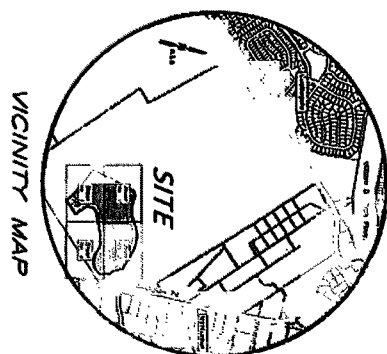
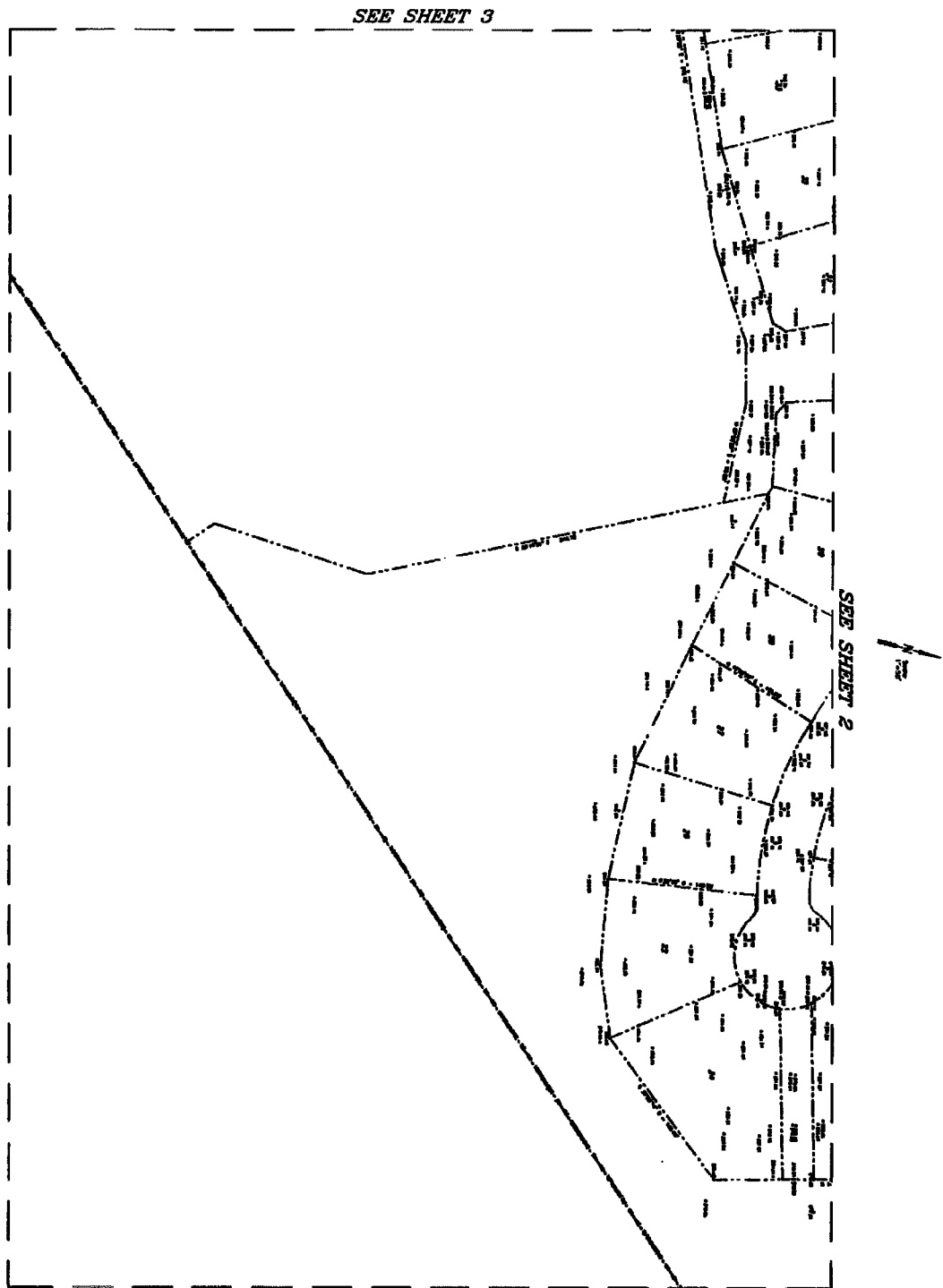
**AS-BUILT  
TOPOGRAPHIC SURVEY  
JULY 12, 2019**

**GREENS PRAIRIE RESERVE  
SECTION 1, PHASE 102**

WILLIAM CLARK SURVEY, A-101  
COLLIER SPRING, BRAZOS COUNTY, TEXAS  
FIELD BOOK: Book 1, Page 1, 2019

3  
OF 1 SHEET

DATE OF SURVEY: JULY 12, 2019  
BY: WILLIAM CLARK SURVEY, A-101  
FOR: GREENS PRAIRIE RESERVE, SECTION 1, PHASE 102  
PROJECT: AS-BUILT TOPOGRAPHIC SURVEY  
SCALE: 1" = 40'



4

**AS-BUILT**  
**TOPOGRAPHIC SURVEY**  
**JULY 12, 2019**

**GREENS PRAIRIE RESERVE**  
**SECTION 1, PHASE 102**

BRADY CAMP SURVEY, A-101  
 COLLIER STATION, BRAZOS COUNTY, TEXAS  
 FIELD BOOK, SHEET 102 OF 100  
 SCALE 1" = 40'

Surveyed by: [Name]  
 Checked by: [Name]  
 Date: [Date]  
 Project: [Project Name]  
 Sheet: 102 of 100  
 PMS







SEE SHEET 2

COMMON AREA TABLE

NO.	AREA	AREA
1	2.242 AC / 114,422 SQ. FT.	CRISTAL ROCK COURT
2	0.000 AC / 0.000 SQ. FT.	CRISTAL ROCK COURT
3	0.000 AC / 0.000 SQ. FT.	CRISTAL ROCK COURT
4	0.000 AC / 0.000 SQ. FT.	CRISTAL ROCK COURT
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99	0.000 AC / 0.000 SQ. FT.	CRISTAL ROCK COURT
100	0.000 AC / 0.000 SQ. FT.	CRISTAL ROCK COURT

ABBREVIATIONS

100%	Masonry, All sides, including Chimney
100%	Masonry, All sides backing an Open Space/Private Trail, including Chimney
100%	Masonry, Corner Side and Rear, including Chimney

LOT TYPE

Corner	Corner
Open Space	Open Space
Private Trail	Private Trail

LANDSCAPE LEGEND

Visible Rear Yard	Visible Rear Yard
Corner Side Planting	Corner Side Planting

FENCING LEGEND

Concrete Panel Fence	Concrete Panel Fence
6' American Majestic Montage Plus	6' American Majestic Montage Plus
Community Cedar Fence:	Community Cedar Fence:
6'x8" Upgraded Wood, Facing Public View	6'x8" Upgraded Wood, Facing Public View
6' Smooth Side/Back Side Wood	6' Smooth Side/Back Side Wood

WINDROSE

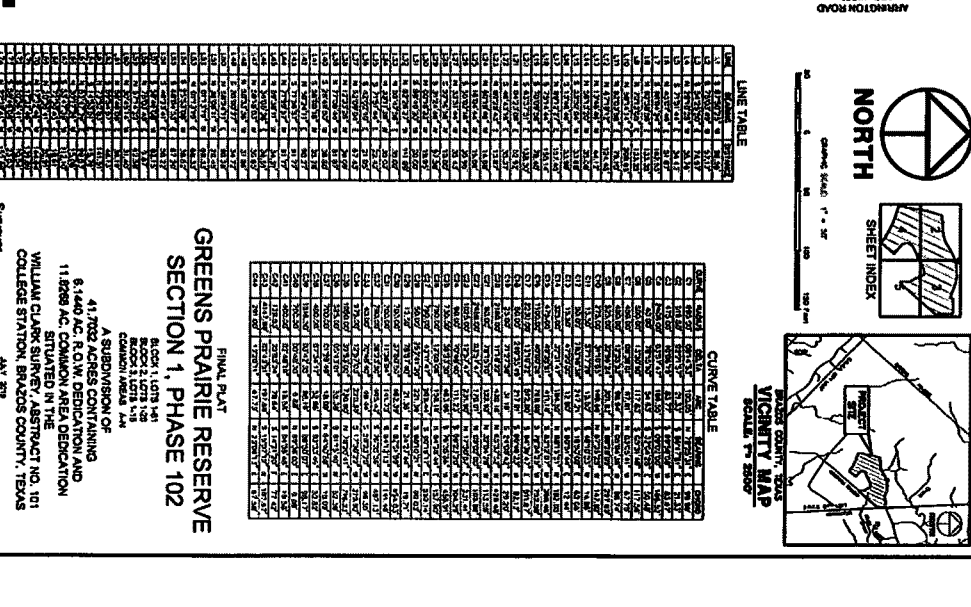
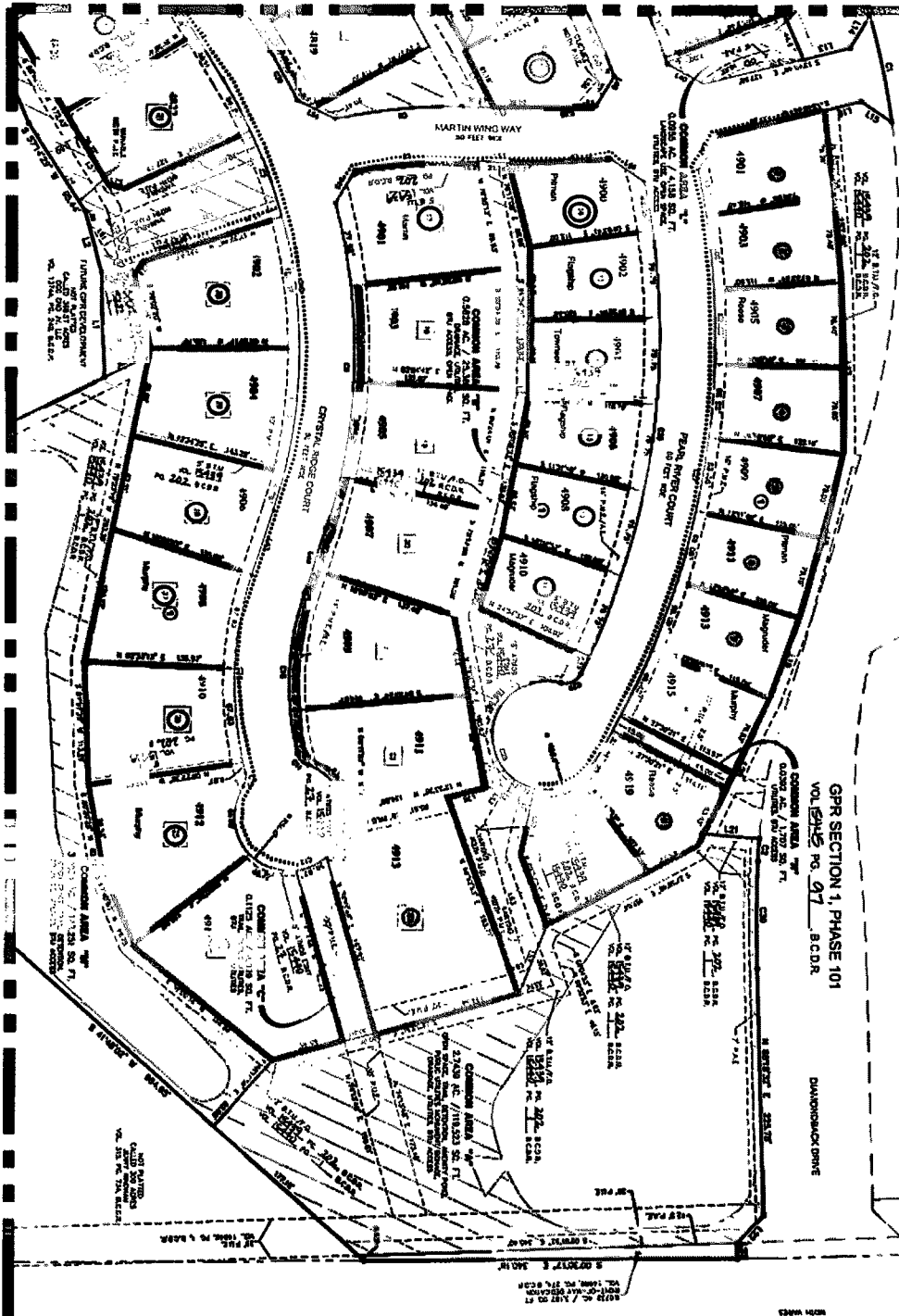
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E	0.00
ESE	0.00
SSE	0.00
S	0.00
SSW	0.00
WSW	0.00
W	0.00
WNW	0.00
NNW	0.00
N	0.00

FINAL PLAT

Block	Lot	Area
1	1	0.00
1	2	0.00
1	3	0.00
1	4	0.00
1	5	0.00
1	6	0.00
1	7	0.00
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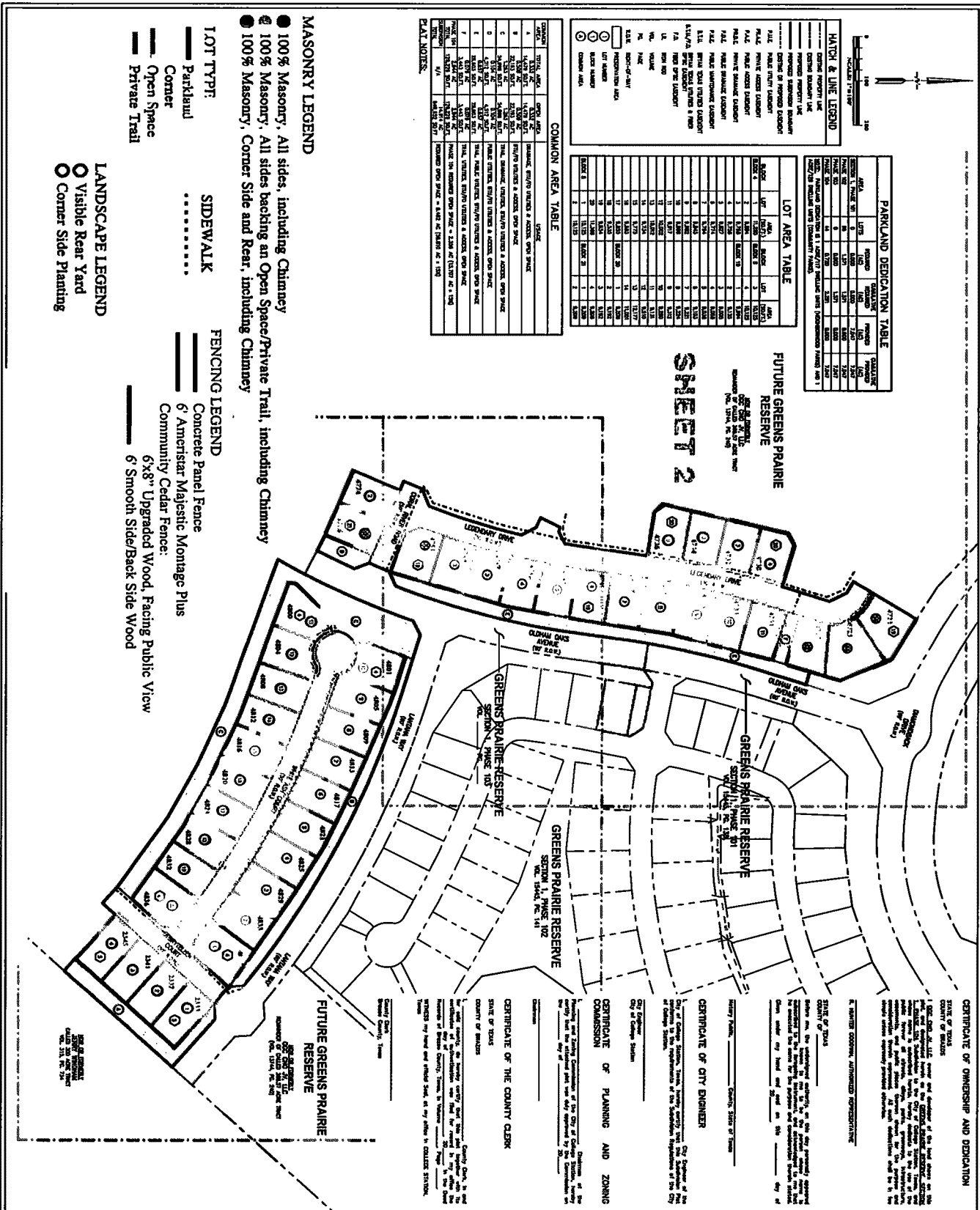
GREENS PRAIRIE RESERVE SECTION 1, PHASE 102

Block	Lot	Area
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1	6	0.00
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1	95	0.00
1	96	0.00
1	97	0.00
1	98	0.00
1	99	0.00
1	100	0.00



SEE SHEET 2





**CERTIFICATE OF OWNERSHIP AND DEDICATION**

STATE OF TEXAS  
COUNTY OF BRAZOS

I, GREENS PRAIRIE RESERVE, INC., do hereby certify that the land shown on the plat is owned by the undersigned and that the same is being dedicated to the public use of the City of College Station, Texas, for the purpose of creating a parkland area. The land is located in the City of College Station, Texas, and is shown on the plat as being dedicated to the public use of the City of College Station, Texas.

WITNESSETH, that I am the owner of the land shown on the plat and that I am dedicating the same to the public use of the City of College Station, Texas.

City of College Station  
City of College Station

**CERTIFICATE OF CITY ENGINEER**

City of College Station, Texas, hereby certifies that the land shown on the plat is owned by the undersigned and that the same is being dedicated to the public use of the City of College Station, Texas.

City of College Station  
City of College Station

**CERTIFICATE OF PLANNING AND ZONING COMMISSION**

City of College Station, Texas, hereby certifies that the land shown on the plat is owned by the undersigned and that the same is being dedicated to the public use of the City of College Station, Texas.

City of College Station  
City of College Station

**CERTIFICATE OF THE COUNTY CLERK**

County of Brazos  
County of Brazos

**CERTIFICATE OF SURVEYOR**

GREENS PRAIRIE RESERVE, INC. is the owner of the land shown on the plat and is dedicating the same to the public use of the City of College Station, Texas.

City of College Station  
City of College Station

**FINAL PLAT**

**GREENS PRAIRIE RESERVE**

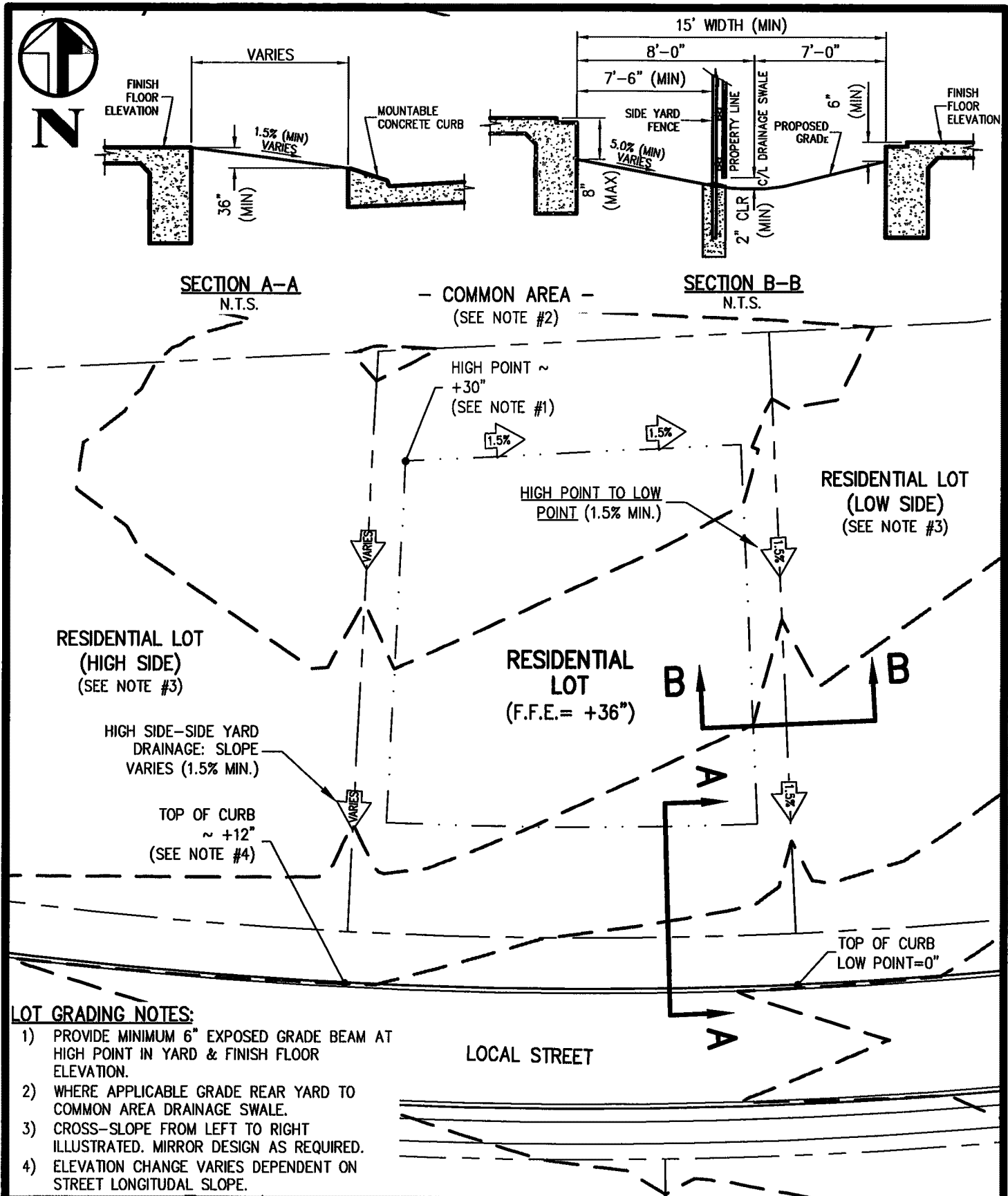
**SECTION 1, PHASE 104**

Block 14, Lots 1-20 & Block 15, Lots 1-4  
Block 16, Lots 1-20 & Block 17, Lots 1-4  
Block 18, Lots 1-20 & Block 19, Lots 1-4  
Block 20, Lots 1-20 & Block 21, Lots 1-4  
Block 22, Lots 1-20 & Block 23, Lots 1-4  
Block 24, Lots 1-20 & Block 25, Lots 1-

CUDT NO. PROJECT NO.  
325 - 0719  
**C1.1A**  
SHEET 7 OF 47







FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 104**  
**SIDE REAR to FRONT: LOT GRADING**  
BLOCK FOUR, LOTS 1 - 10  
BLOCK NINETEEN, LOTS 3 - 10  
BLOCK TWENTY, LOTS 1 - 4

RME No. 325-0719

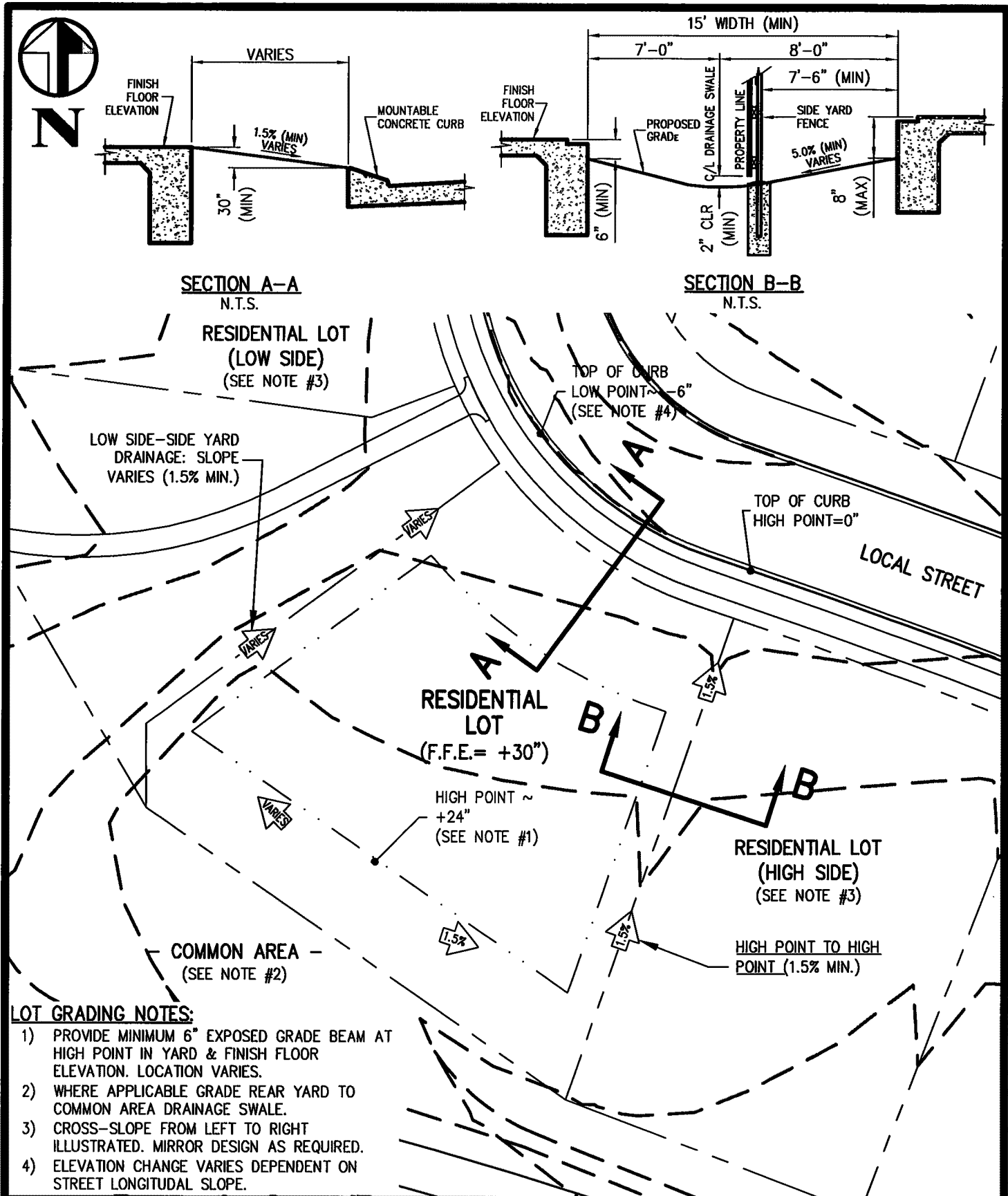
REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: OGG

SHEET NO.  
1 OF 4

SHEET TITLE  
**X-1**





FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmeengineer.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 104**  
**MID REAR to FRONT: LOT GRADING**  
**BLOCK FOUR, LOT 11**

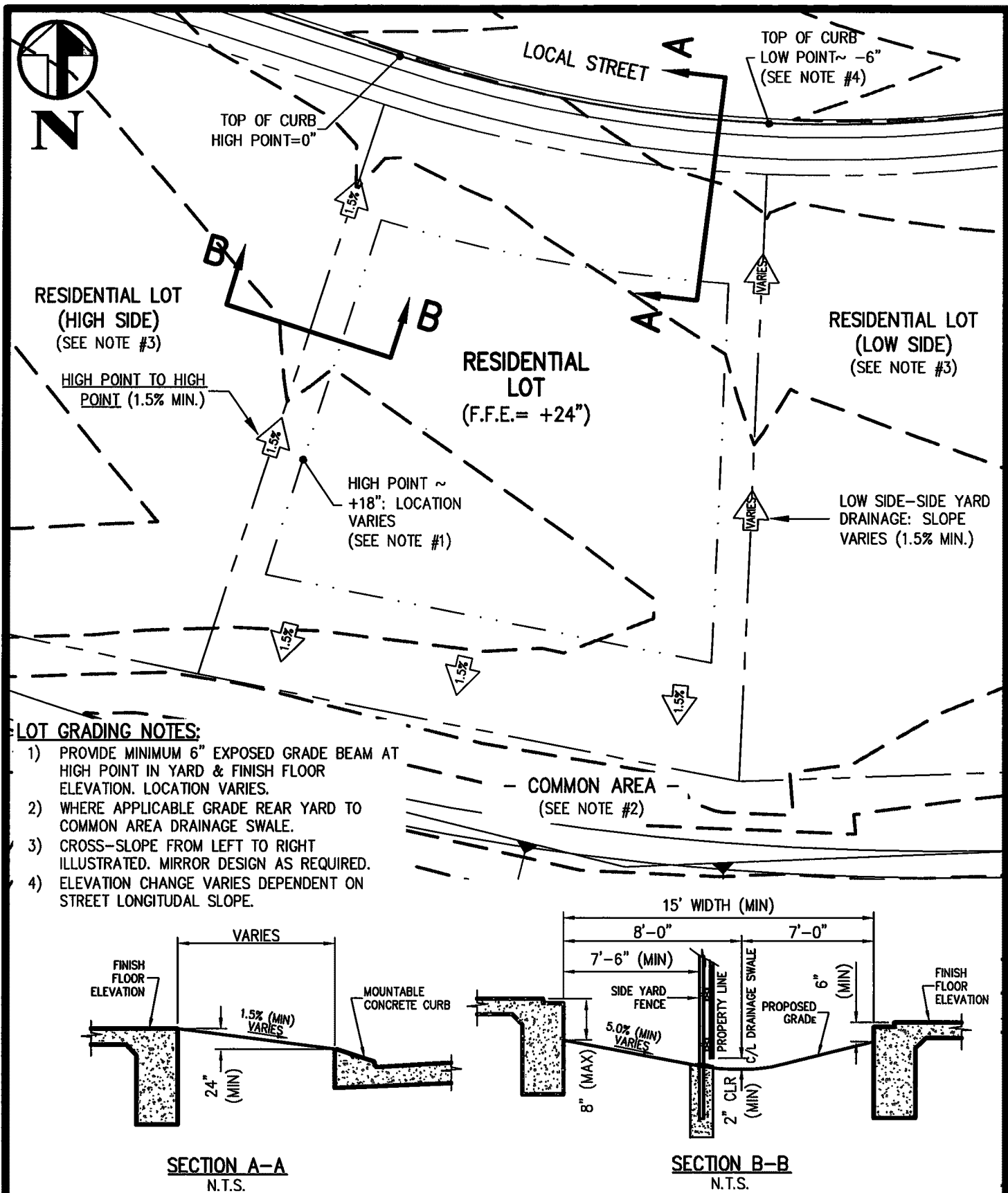
RME No. 325-0719

REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: OGG

SHEET NO.  
2 OF 4

SHEET TITLE  
**X-2**



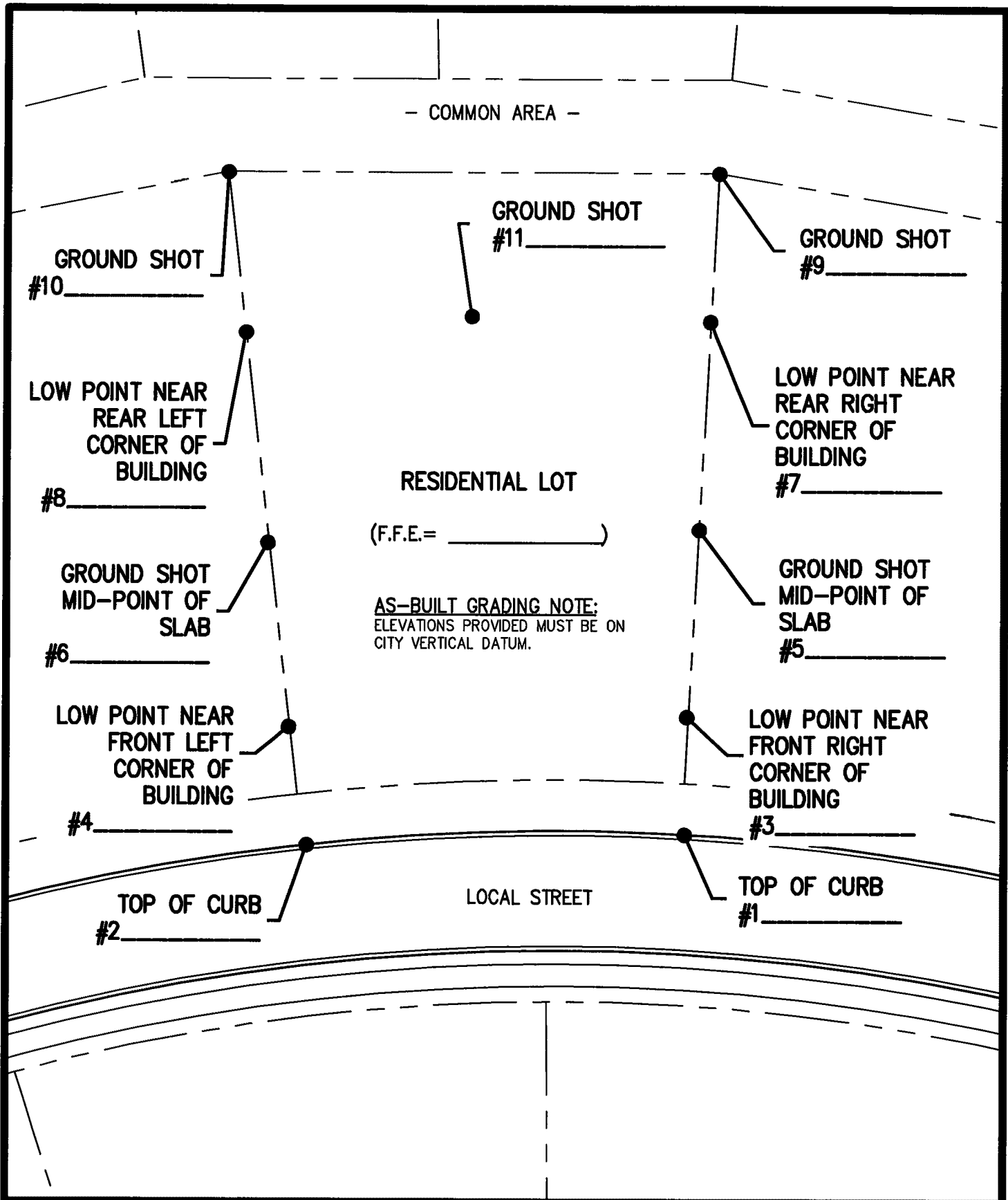
**RME**  
Consulting Engineers


FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmeengineer.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 104**  
**SPLIT REAR & FRONT: LOT GRADING**  
BLOCK FOUR, LOTS 12 - 20  
BLOCK FIVE, LOTS 1 - 4  
BLOCK NINETEEN, LOTS 1, 2 & 11 - 14  
BLOCK TWENTY-ONE, LOTS 1 & 2  
RME No. 325-0719

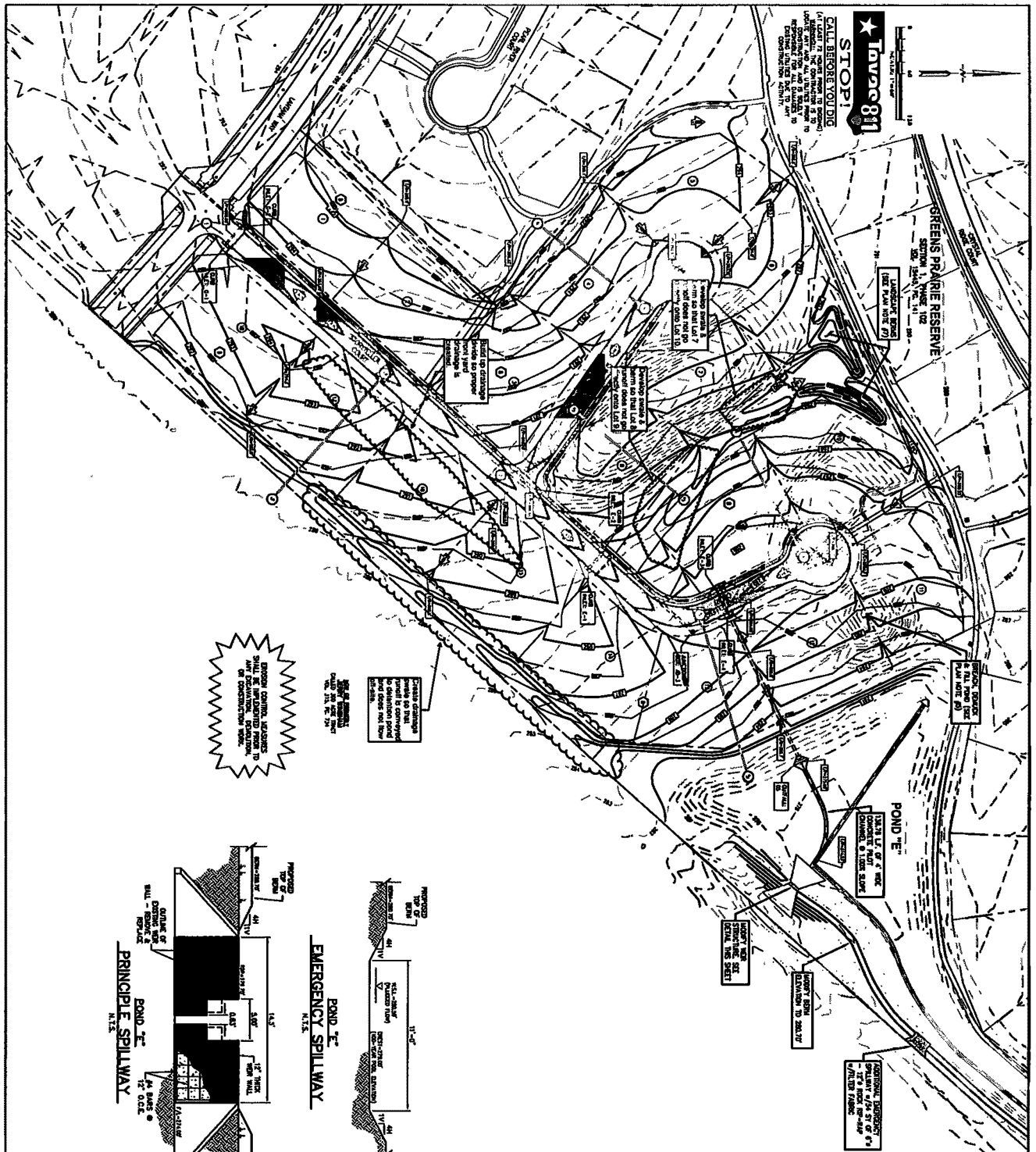
REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'  
  
DRAWN BY: RAM  
CHK BY: OGG

SHEET NO.  
3 OF 4  
  
SHEET TITLE  
**X-3**



 <p>FIRM REGISTRATION No. F-4695 POST OFFICE BOX 9253 COLLEGE STATION, TX 77842 EMAIL: civil@rmengineer.com OFF: (979) 764-0704</p>	<p><b>GREENS PRAIRIE RESERVE, PHASE 104</b>  <b>AS-BUILT LOT GRADING SURVEY</b>          BLOCK _____, LOT _____</p>	<p>REV: 1          DATE: 6/9/22          FILE: LOT-GRADING          SCALE: 1"=30'</p>	<p>SHEET NO.          4 OF 4          SHEET TITLE  <b>X-4</b></p>
<p>RME No. 325-0719</p>		<p>DRAWN BY: RAM          CHK BY: OGG</p>	





**RECORD DRAWING - 3/2/22**

**EXPLANATION:**

**CONSTRUCTION:**

**GENERAL CONTRACTOR:**

**DESIGNER:**

**DATE:**

**BY:**

**CHECKED BY:**

**APPROVED BY:**

**LEGEND:**

**GRAVITY DRAINAGE:**

**EMERGENCY SPILLWAY:**

**PRINCIPLE SPILLWAY:**

**NOTES:**

**GREENS PRAIRIE RESERVE**

**SECTION 1, PHASE 106**

**STREET, DRAINAGE & UTILITY IMPROVEMENTS**

**COLLEGE STATION, BRAZOS COUNTY, TEXAS**

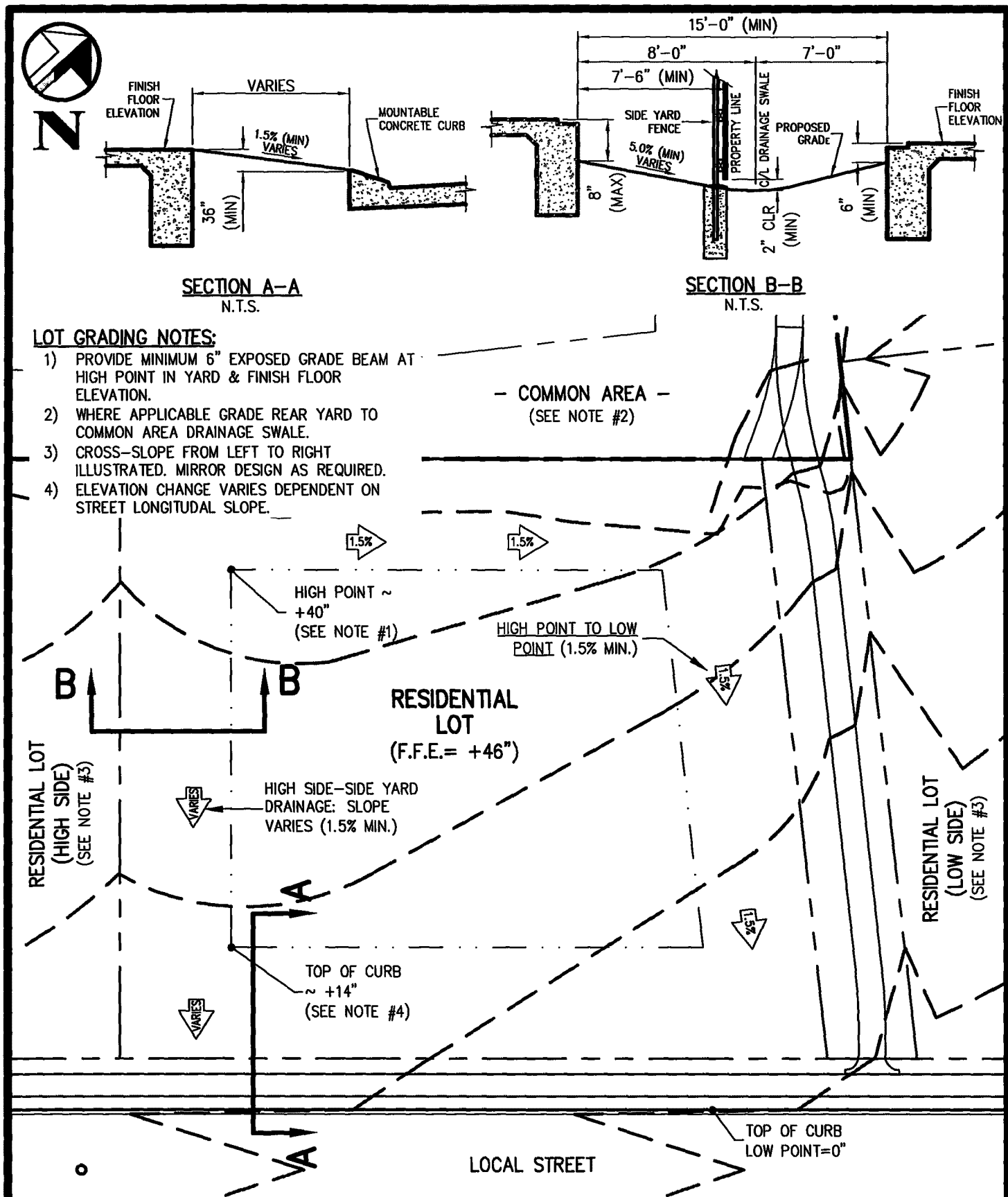
**RECORD DRAWINGS ISSUED**

**DATE:**

**BY:**

**CHECKED BY:**

**APPROVED BY:**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

GREENS PRAIRIE RESERVE, PHASE 106  
SIDE REAR to FRONT: LOT GRADING  
BLOCK EIGHT, LOTS 2, 3, & 5

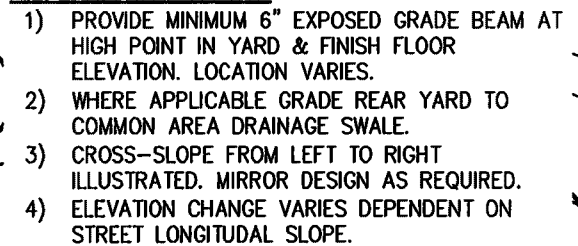
RME No. 325-0720

REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'

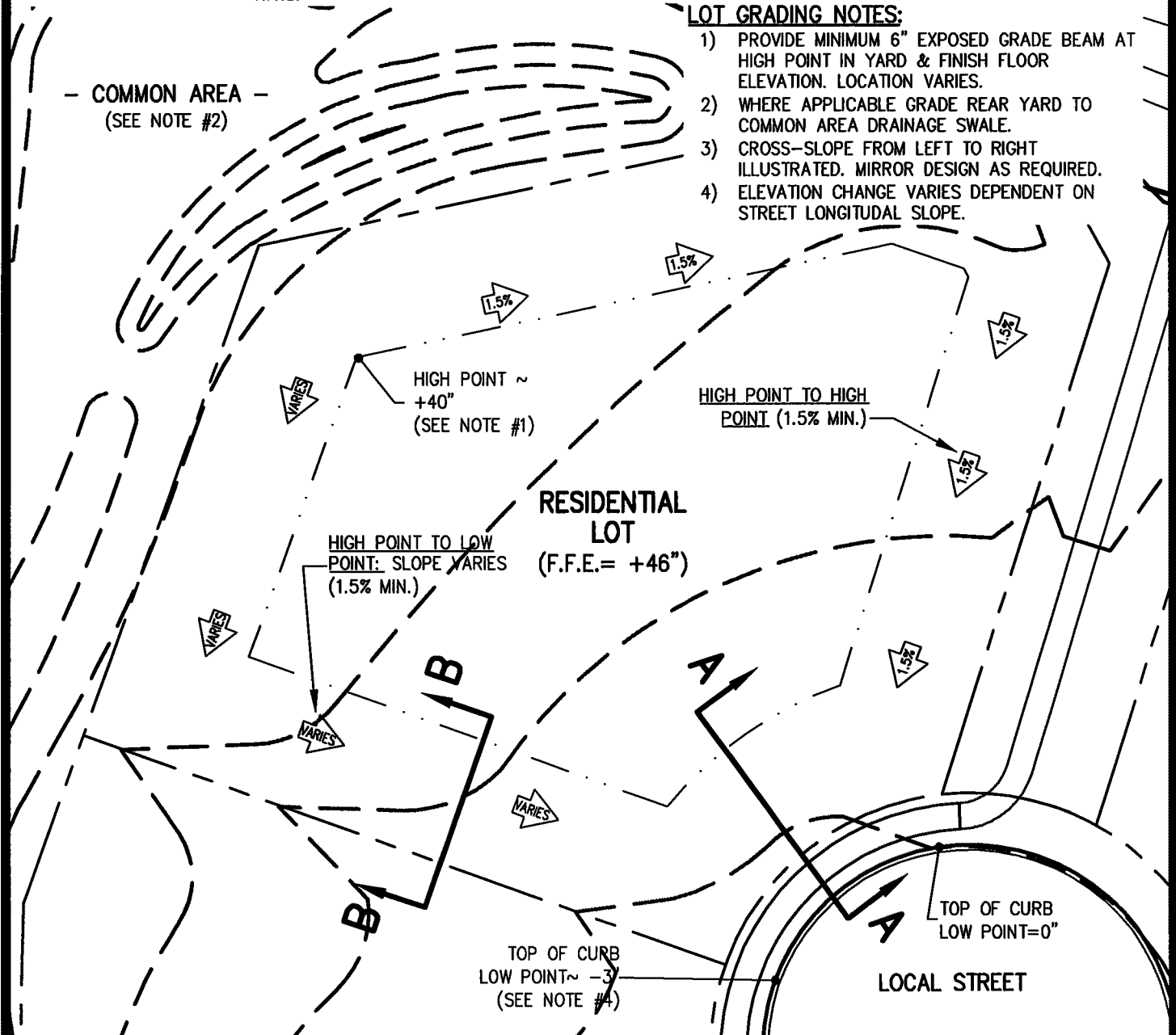
DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
1 OF 4

SHEET TITLE  
X-1



— COMMON AREA —  
(SEE NOTE #2)

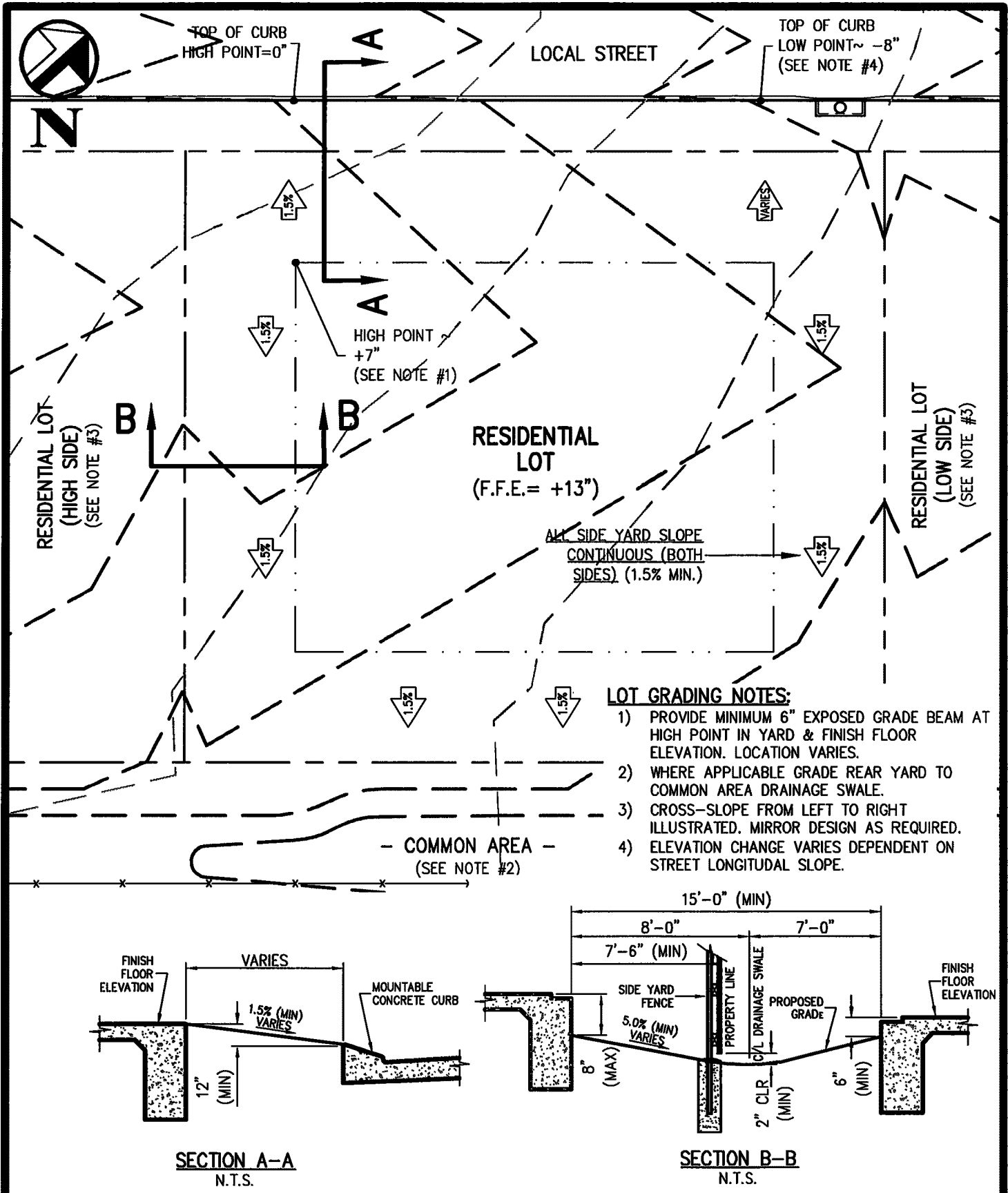


**GREENS PRAIRIE RESERVE, PHASE 106  
MID REAR to FRONT: LOT GRADING  
BLOCK EIGHT, LOTS 1, 4, 9 & 10**

REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'

SHEET NO.  
2 OF 4

SHEET TITLE  
X-2



**RME**  
Consulting Engineers

FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 106**  
**SPLIT REAR & FRONT: LOT GRADING**  
**BLOCK EIGHT, LOTS 6 - 8 & 11 - 18**

RME No. 325-0720

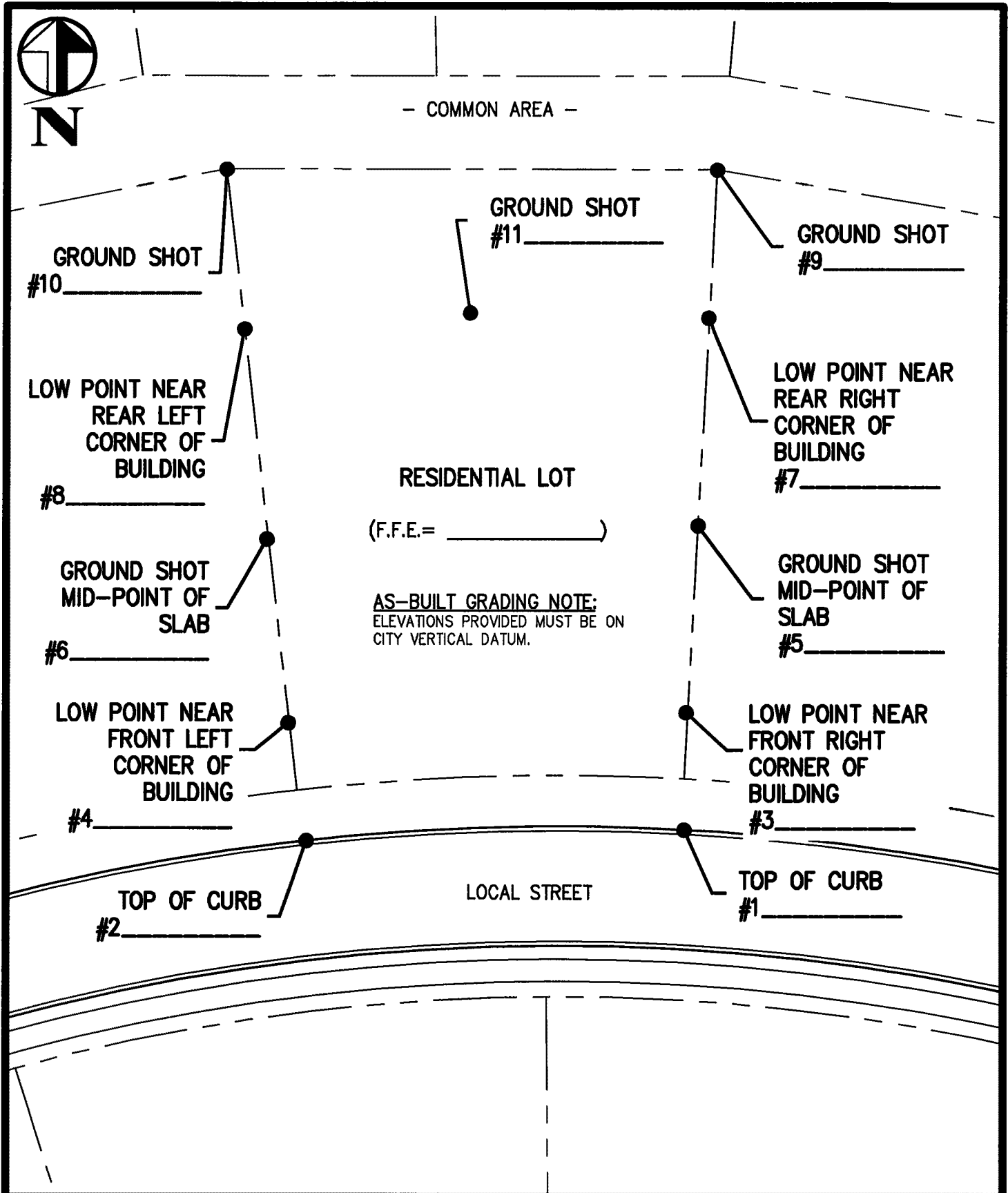
REV: 1  
DATE: 6/9/22  
FILE: LOT-GRADING  
SCALE: 1"=30'


DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
3 OF 4

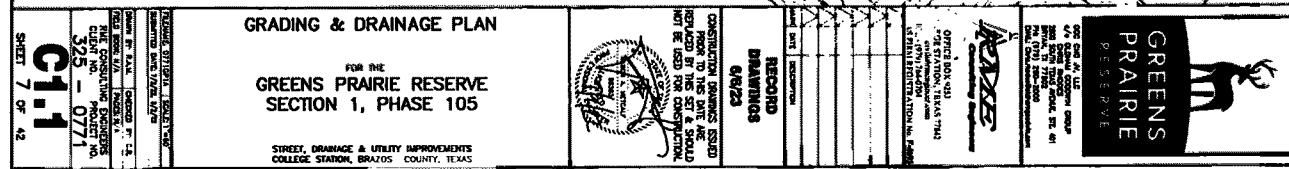
SHEET TITLE  
**X-3**

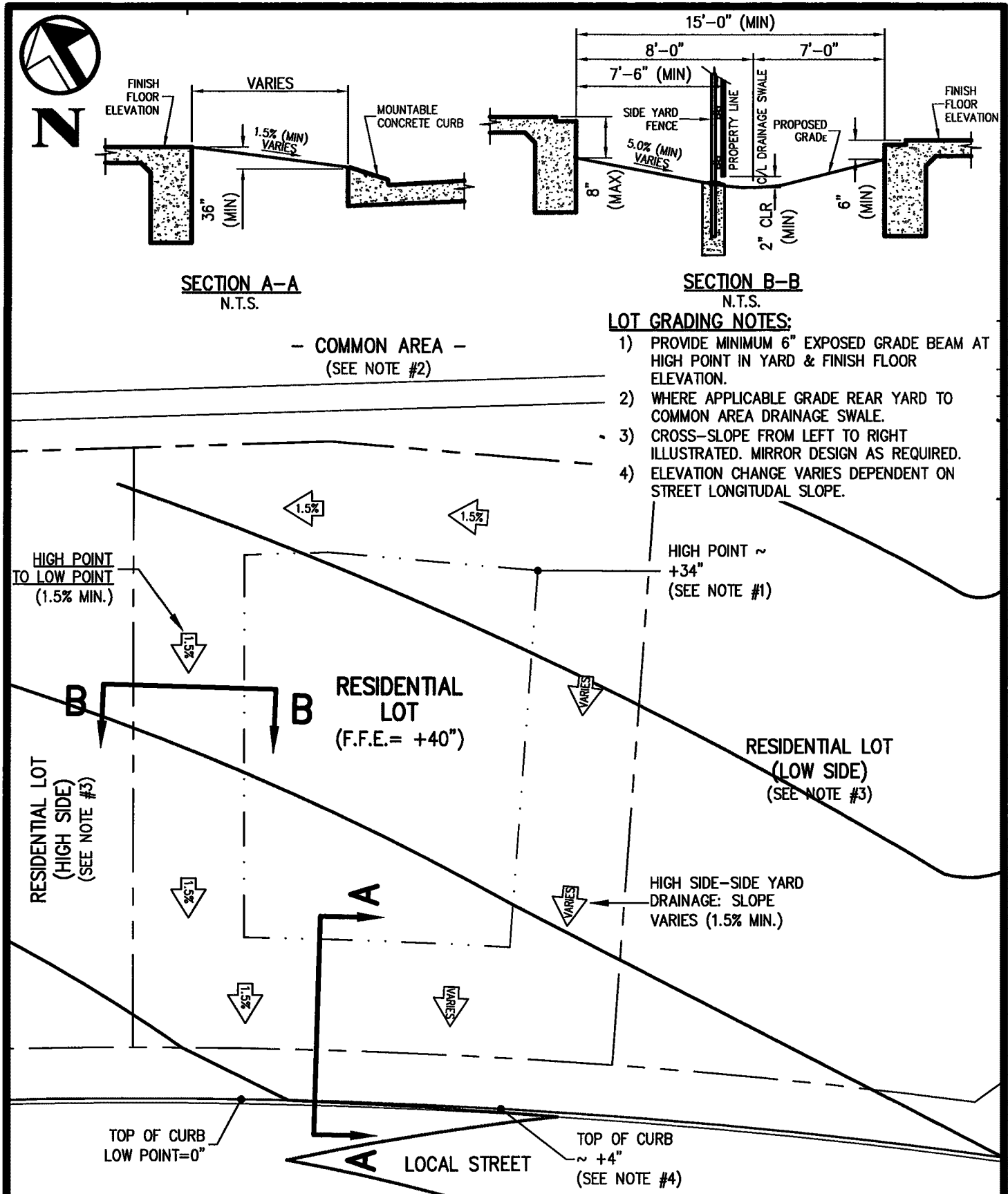




 <p>FIRM REGISTRATION No. F-4695 POST OFFICE BOX 9253 COLLEGE STATION, TX 77842 EMAIL: civil@rmengineer.com OFF/FAX: (979) 764-0704</p>	<p><b>GREENS PRAIRIE RESERVE, PHASE 106</b> <b>AS-BUILT LOT GRADING SURVEY</b></p> <p>BLOCK _____, LOT _____</p> <p>RME No. 325-0720</p>	<p>REV: _____ DATE: 6/9/22 FILE: LOT-GRADING SCALE: 1"=30'</p> <p>DRAWN BY: RAM CHK BY: RK</p>	<p>SHEET NO. 4 OF 4</p> <p>SHEET TITLE <b>X-4</b></p>
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FIRM REGISTRATION No. F-4695  
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COLLEGE STATION, TX 77842  
EMAIL: civil@rmengincor.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 105**  
**SIDE REAR to FRONT: LOT GRADING**  
**BLOCK SIX, LOTS 2 & 4 - 6**

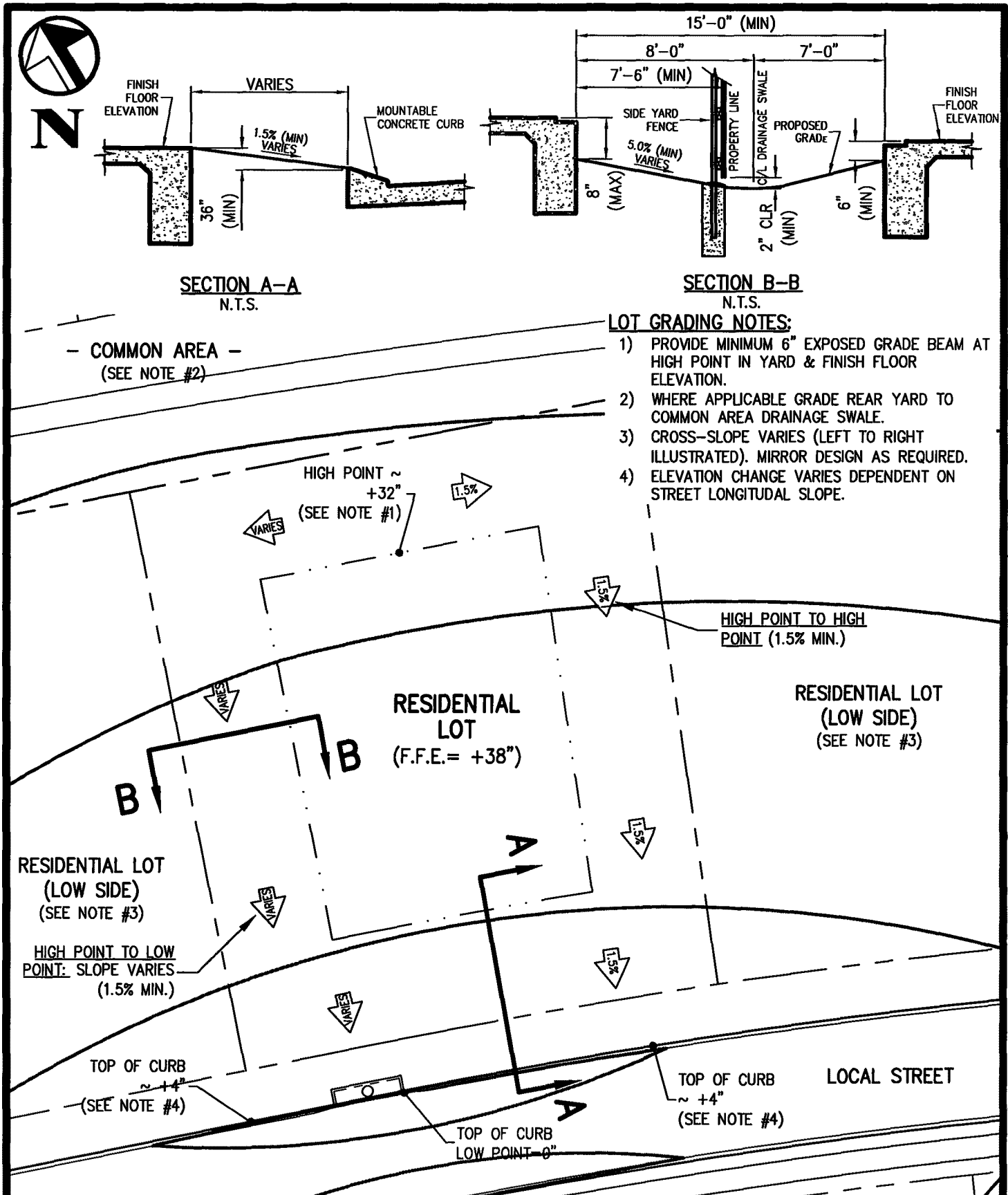
RME No. 325-0771

REV: 1  
DATE: 6/8/23  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
1 OF 4

SHEET TITLE  
**X-1**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
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**GREENS PRAIRIE RESERVE, PHASE 105**  
**MID REAR to FRONT: LOT GRADING**  
BLOCK SIX, LOTS 1, 3 & 7

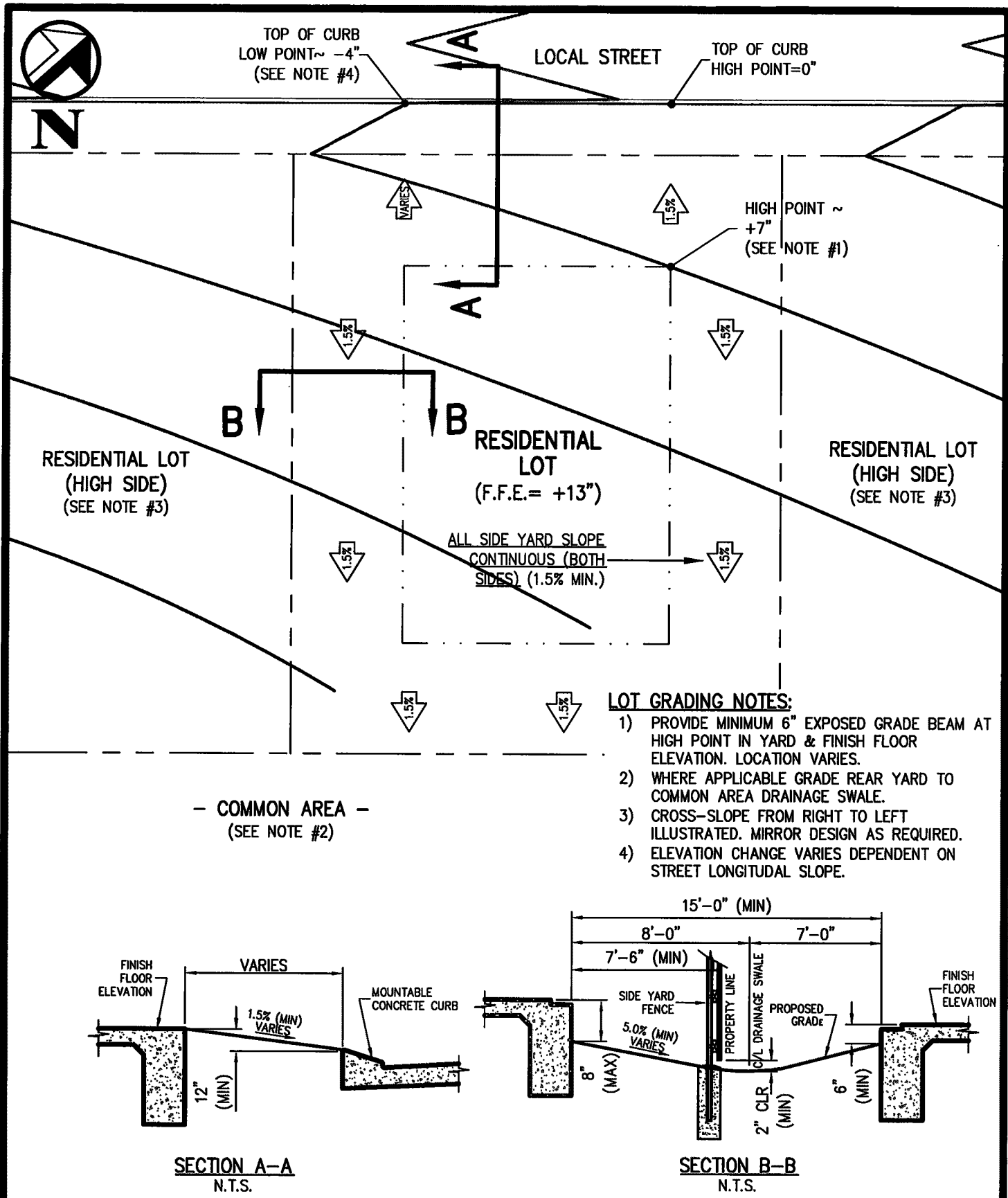
RME No. 325-0771

REV: 1  
DATE: 6/8/23  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
2 OF 4

SHEET TITLE  
**X-2**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineers.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 105**  
**SPLIT REAR & FRONT: LOT GRADING**  
BLOCK FIVE, LOTS 5-10  
BLOCK SEVEN, LOTS 1-6

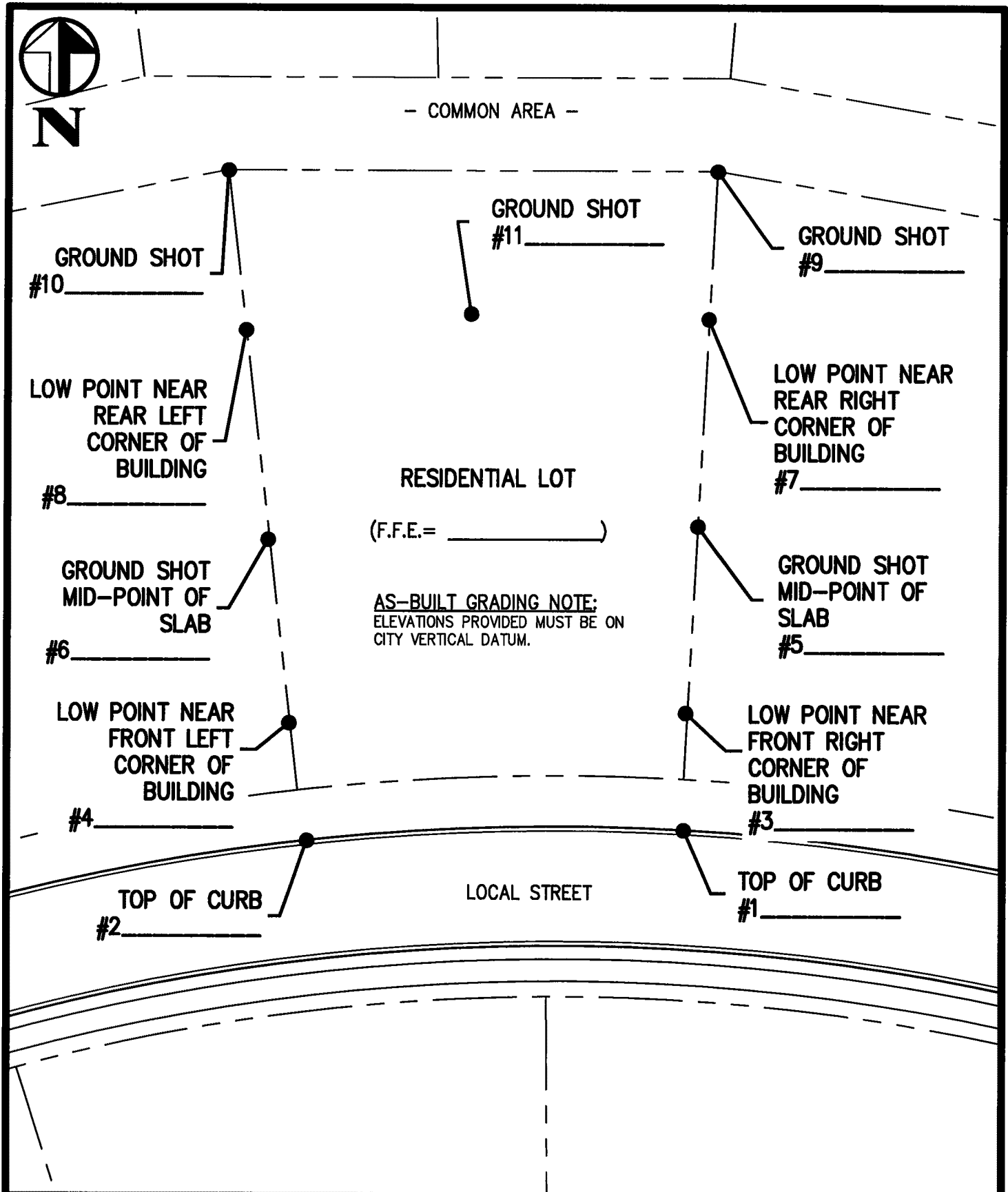
RME No. 325-0771


REV: 1  
DATE: 6/8/23  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
3 OF 4

SHEET TITLE  
**X-3**

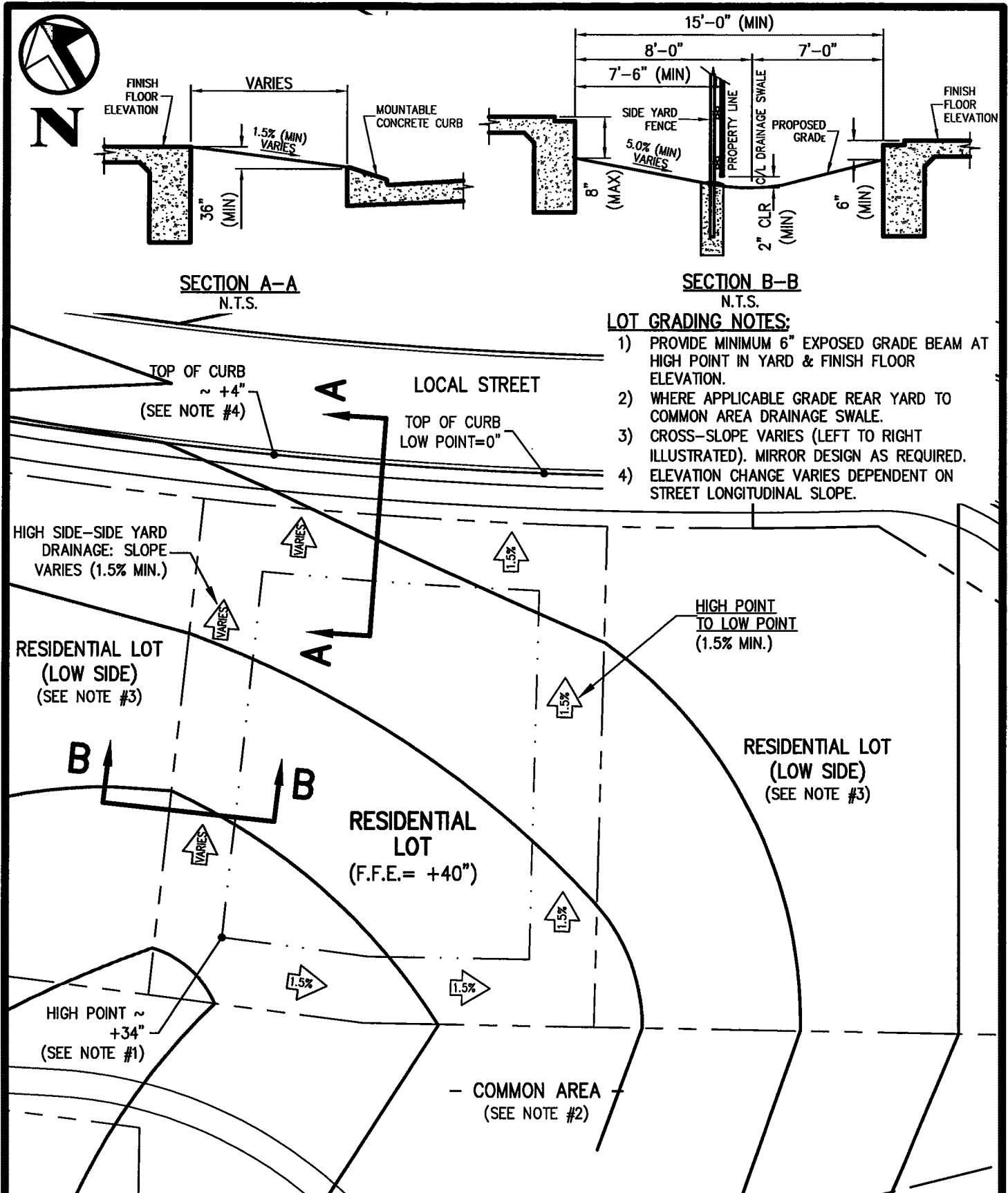


 <p>FIRM REGISTRATION No. F-4695 POST OFFICE BOX 9253 COLLEGE STATION, TX 77842 EMAIL: civil@rmengineers.com OFF: (979) 764-0704</p>	<p><b>GREENS PRAIRIE RESERVE, PHASE 105</b> <b>AS-BUILT LOT GRADING SURVEY</b></p> <p>BLOCK _____, LOT _____</p> <p>RME No. 325-0771</p>	<p>REV: 1 DATE: 6/8/23 FILE: LOT-GRADING SCALE: 1"=30'</p> <p>DRAWN BY: RAM CHK BY: MW</p>	<p>SHEET NO. 4 OF 4</p> <p>SHEET TITLE <b>X-4</b></p>
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FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineers.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 404**  
**SIDE REAR to FRONT: LOT GRADING**  
**BLOCK TWENTY, LOTS 5 - 7**

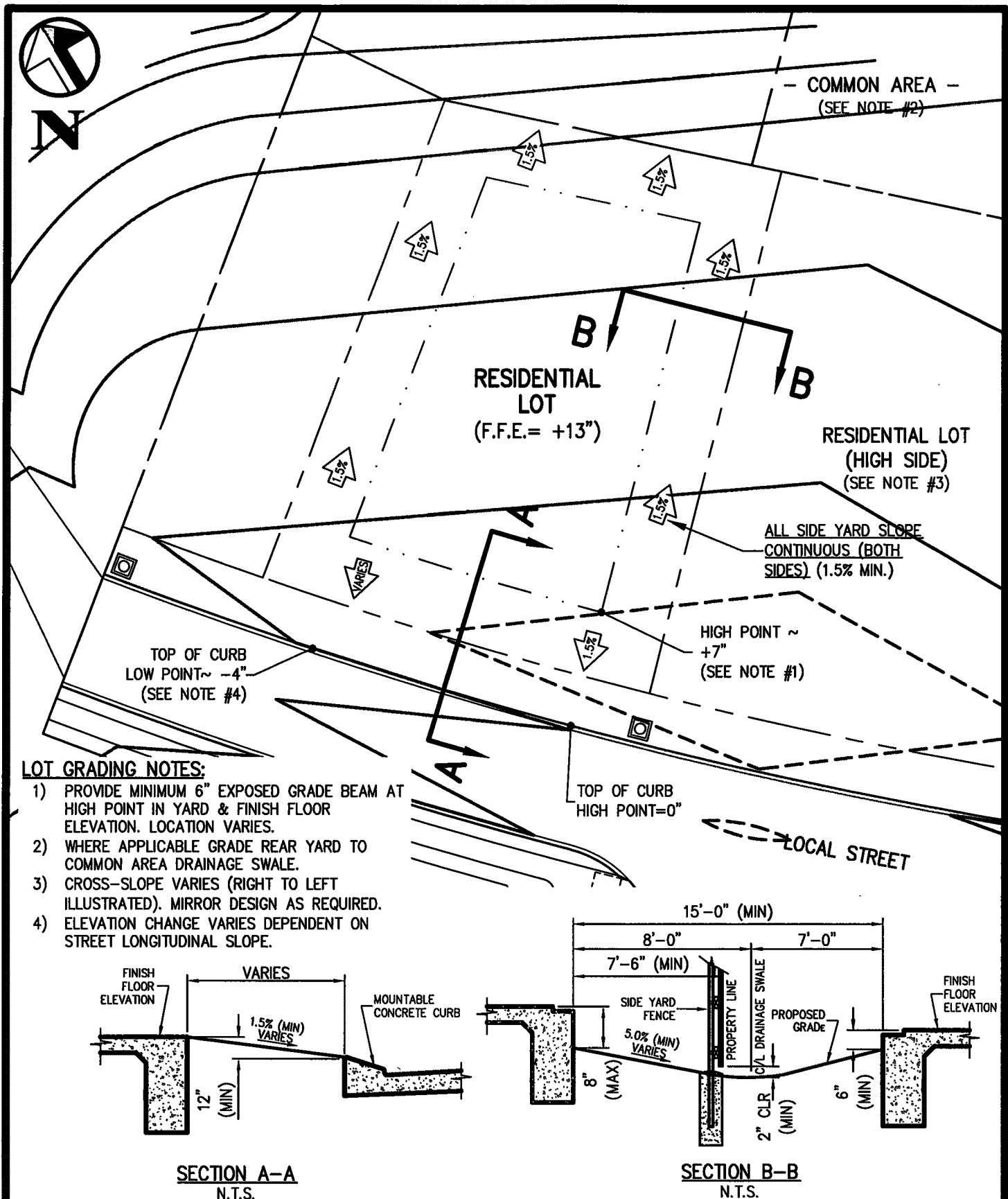
RME No. 325-0770

REV: 1  
DATE: 6/8/23  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
1 OF 4

SHEET TITLE  
**X-1**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 404**  
**SIDE FRONT to REAR: LOT GRADING**  
**BLOCK NINETEEN, LOTS 15 - 18**

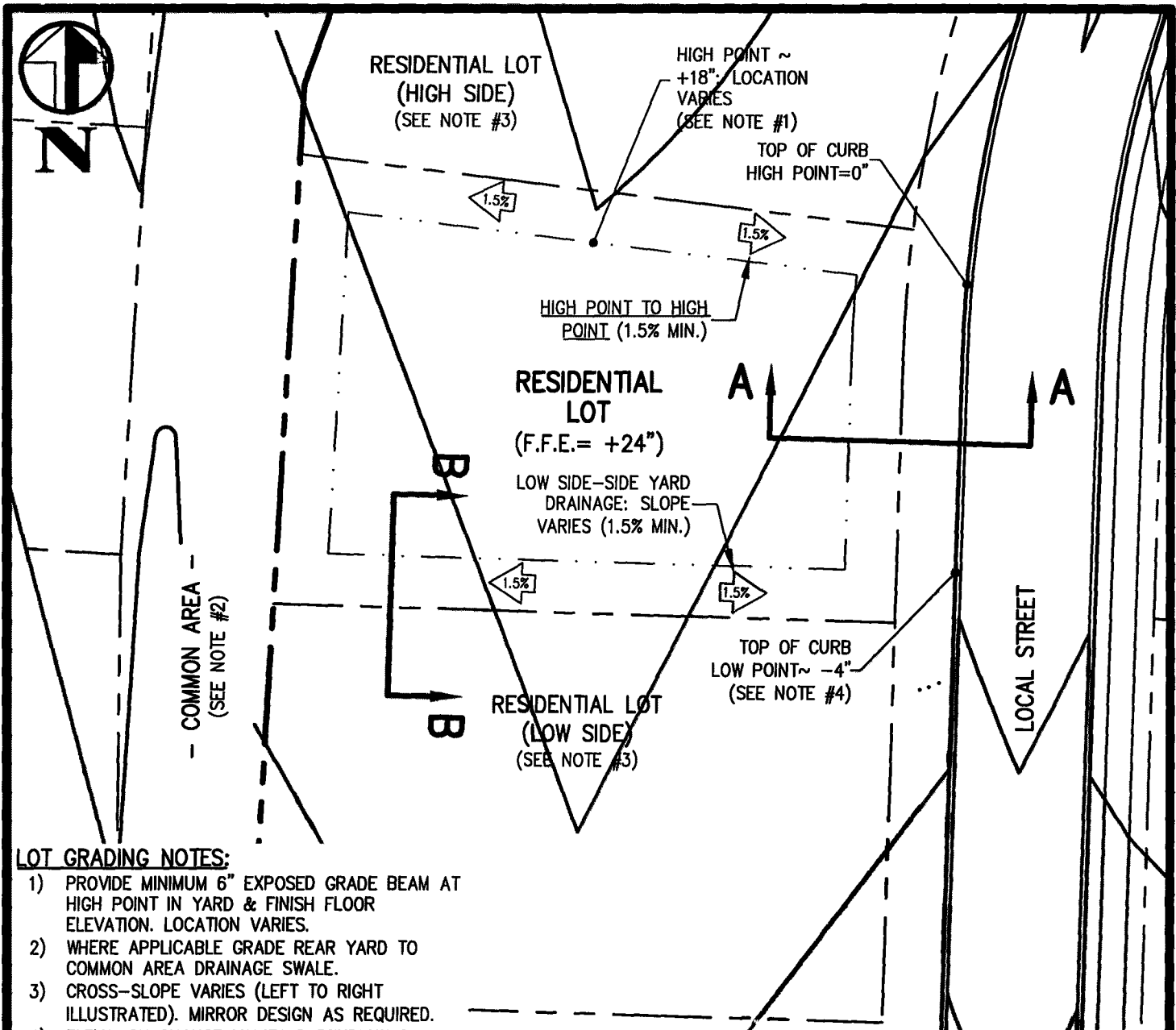
RME No. 325-0770

REV: 1  
DATE: 6/8/23  
FILE: LOT-GRADING  
SCALE: 1"=30'

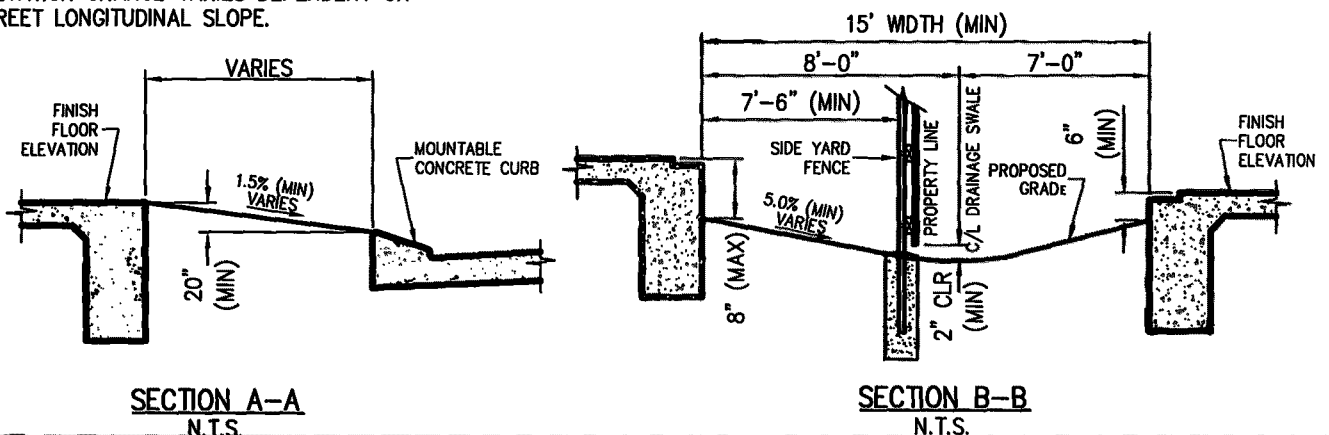
DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
2 OF 4

SHEET TITLE  
**X-2**

**LOT GRADING NOTES:**

- 1) PROVIDE MINIMUM 6\"/>
- 2) WHERE APPLICABLE GRADE REAR YARD TO COMMON AREA DRAINAGE SWALE.
- 3) CROSS-SLOPE VARIES (LEFT TO RIGHT ILLUSTRATED). MIRROR DESIGN AS REQUIRED.
- 4) ELEVATION CHANGE VARIES DEPENDENT ON STREET LONGITUDINAL SLOPE.



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**GREENS PRAIRIE RESERVE, PHASE 404**  
**SPLIT REAR & FRONT: LOT GRADING**  
 BLOCK TWENTY, LOTS 8 - 14  
 BLOCK TWENTY SIX, LOTS 1 - 14

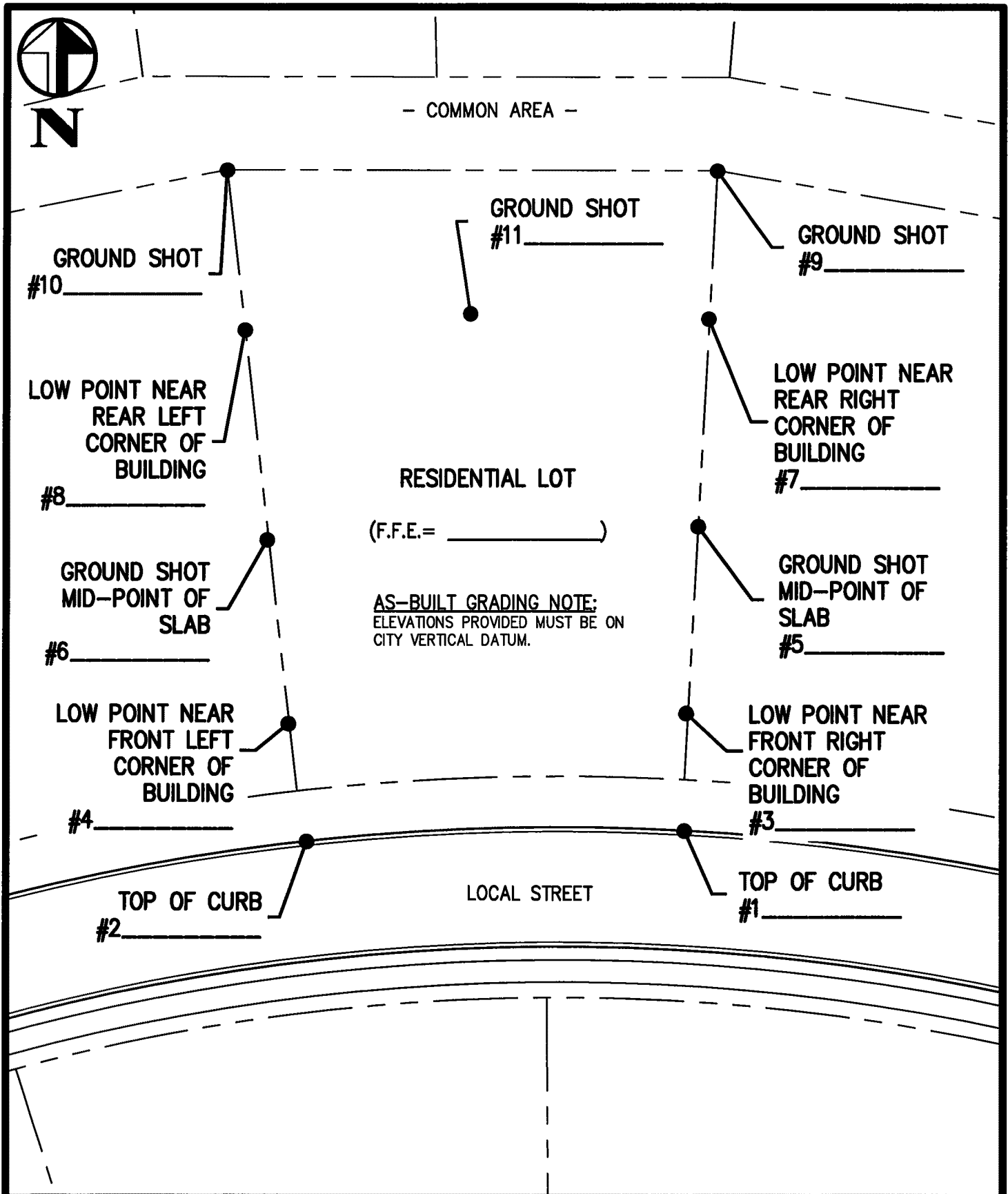
RME No. 325-0770


REV: 1  
 DATE: 6/8/23  
 FILE: LOT-GRADING  
 SCALE: 1\"/>

DRAWN BY: RAM  
 CHK BY: MW

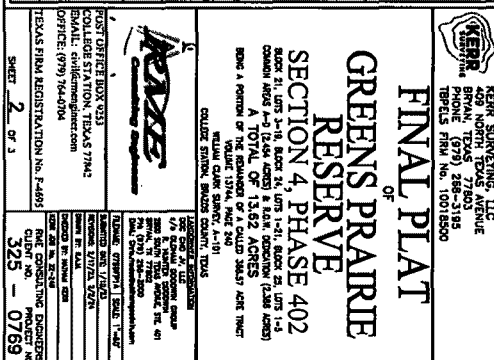
SHEET NO.  
 3 OF 4

SHEET TITLE  
 X-3



 <p>FIRM REGISTRATION No. F-4695          POST OFFICE BOX 9253          COLLEGE STATION, TX 77842          EMAIL: civil@rmengincor.com          OFF: (979) 764-0704</p>	<p><b>GREENS PRAIRIE RESERVE, PHASE 404</b>  <b>AS-BUILT LOT GRADING SURVEY</b></p> <p>BLOCK _____, LOT _____</p> <p>RME No. 325-0770</p>	<p>REV: 1          DATE: 6/8/23          FILE: LOT-GRADING          SCALE: 1"=30'</p> <p>DRAWN BY: RAM          CHK BY: MW</p>	<p>SHEET NO.          4 OF 4</p> <p>SHEET TITLE  <b>X-4</b></p>
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EXTERIOR CURVE DATA				
CURVE NO.	ARC LENGTH	CHORD BEARING	CHORD LENGTH	CHORD BEARING
1	100.00	115.82	47.76	115.82
2	50.00	121.17	23.88	121.17
3	50.00	126.52	23.88	126.52
4	50.00	131.87	23.88	131.87
5	50.00	137.22	23.88	137.22
6	50.00	142.57	23.88	142.57
7	50.00	147.92	23.88	147.92
8	50.00	153.27	23.88	153.27
9	50.00	158.62	23.88	158.62
10	50.00	163.97	23.88	163.97
11	50.00	169.32	23.88	169.32
12	50.00	174.67	23.88	174.67
13	50.00	180.02	23.88	180.02
14	50.00	185.37	23.88	185.37
15	50.00	190.72	23.88	190.72
16	50.00	196.07	23.88	196.07
17	50.00	201.42	23.88	201.42
18	50.00	206.77	23.88	206.77
19	50.00	212.12	23.88	212.12
20	50.00	217.47	23.88	217.47
21	50.00	222.82	23.88	222.82
22	50.00	228.17	23.88	228.17
23	50.00	233.52	23.88	233.52
24	50.00	238.87	23.88	238.87
25	50.00	244.22	23.88	244.22
26	50.00	249.57	23.88	249.57
27	50.00	254.92	23.88	254.92
28	50.00	260.27	23.88	260.27
29	50.00	265.62	23.88	265.62
30	50.00	270.97	23.88	270.97
31	50.00	276.32	23.88	276.32
32	50.00	281.67	23.88	281.67
33	50.00	287.02	23.88	287.02
34	50.00	292.37	23.88	292.37
35	50.00	297.72	23.88	297.72
36	50.00	303.07	23.88	303.07
37	50.00	308.42	23.88	308.42
38	50.00	313.77	23.88	313.77
39	50.00	319.12	23.88	319.12
40	50.00	324.47	23.88	324.47
41	50.00	329.82	23.88	329.82
42	50.00	335.17	23.88	335.17
43	50.00	340.52	23.88	340.52
44	50.00	345.87	23.88	345.87
45	50.00	351.22	23.88	351.22
46	50.00	356.57	23.88	356.57
47	50.00	361.92	23.88	361.92
48	50.00	367.27	23.88	367.27
49	50.00	372.62	23.88	372.62
50	50.00	377.97	23.88	377.97
51	50.00	383.32	23.88	383.32
52	50.00	388.67	23.88	388.67
53	50.00	394.02	23.88	394.02
54	50.00	399.37	23.88	399.37
55	50.00	404.72	23.88	404.72
56	50.00	410.07	23.88	410.07
57	50.00	415.42	23.88	415.42
58	50.00	420.77	23.88	420.77
59	50.00	426.12	23.88	426.12
60	50.00	431.47	23.88	431.47
61	50.00	436.82	23.88	436.82
62	50.00	442.17	23.88	442.17
63	50.00	447.52	23.88	447.52
64	50.00	452.87	23.88	452.87
65	50.00	458.22	23.88	458.22
66	50.00	463.57	23.88	4

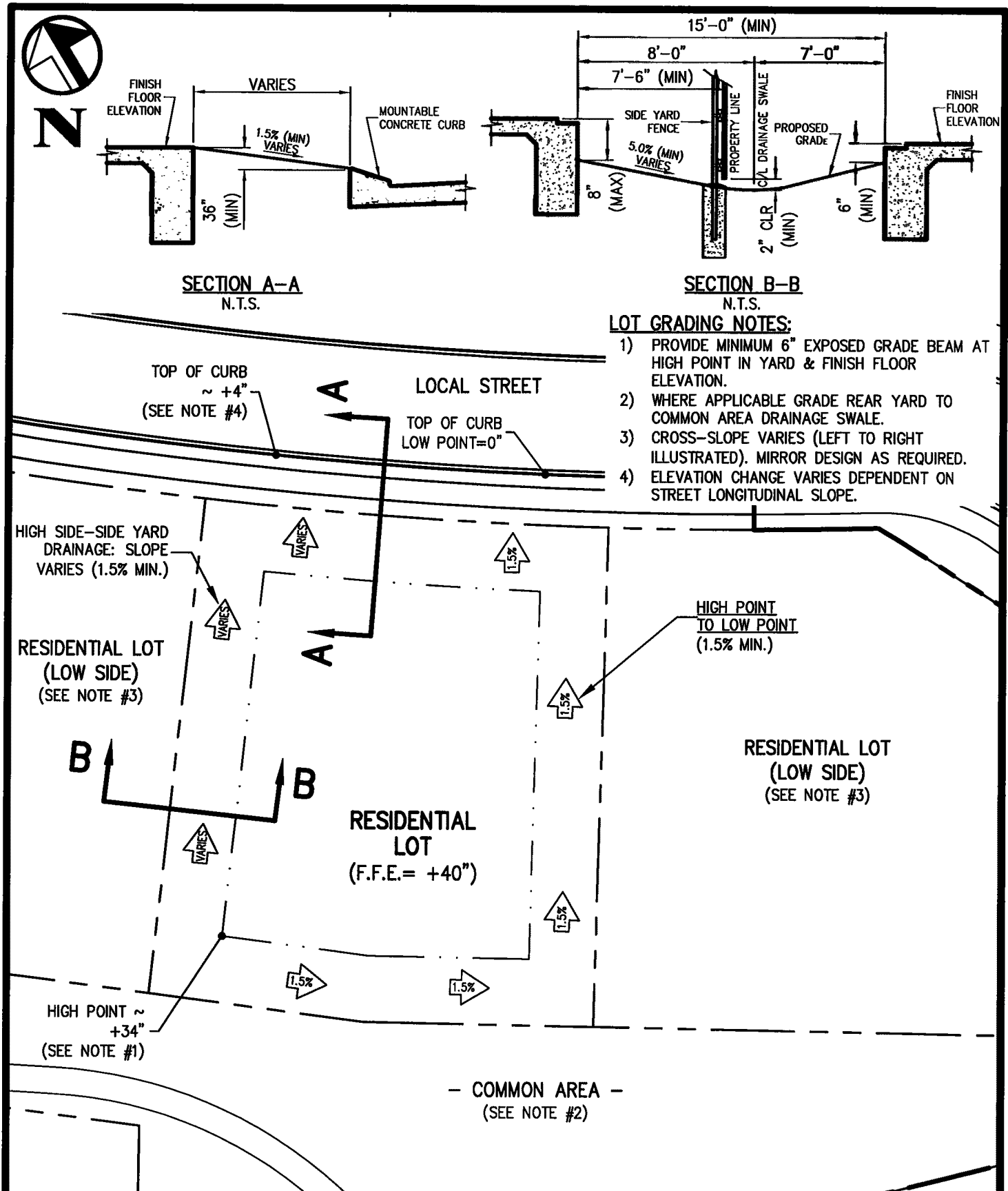
DATE	TIME	NO.	NAME	STATUS
10/10/80	10:00	101	JOHN DOE	OK
10/10/80	10:05	102	JANE SMITH	OK
10/10/80	10:10	103	BOB JONES	OK
10/10/80	10:15	104	ALICE BROWN	OK
10/10/80	10:20	105	CHARLIE WHITE	OK
10/10/80	10:25	106	DAVID GREEN	OK
10/10/80	10:30	107	EVE BLACK	OK
10/10/80	10:35	108	FRANK GRAY	OK
10/10/80	10:40	109	GRACE HILL	OK
10/10/80	10:45	110	HELEN PEARSON	OK
10/10/80	10:50	111	IRVING ROSS	OK
10/10/80	10:55	112	JACK STONE	OK
10/10/80	11:00	113	JILL TAYLOR	OK
10/10/80	11:05	114	JOHN WALKER	OK
10/10/80	11:10	115	JANE YOUNG	OK
10/10/80	11:15	116	BOB ZIMMERMAN	OK
10/10/80	11:20	117	ALICE ADAMS	OK
10/10/80	11:25	118	CHARLIE BAKER	OK
10/10/80	11:30	119	DAVID CAMPBELL	OK
10/10/80	11:35	120	EVE COOPER	OK
10/10/80	11:40	121	FRANK DAVIS	OK
10/10/80	11:45	122	GRACE EVANS	OK
10/10/80	11:50	123	HELEN FOSTER	OK
10/10/80	11:55	124	IRVING GIBSON	OK
10/10/80	12:00	125	JACK HARRIS	OK
10/10/80	12:05	126	JILL KELLY	OK
10/10/80	12:10	127	JOHN LAMBERT	OK
10/10/80	12:15	128	JANE MITCHELL	OK
10/10/80	12:20	129	BOB NICHOLS	OK
10/10/80	12:25	130	ALICE ORTEGA	OK
10/10/80	12:30	131	CHARLIE PEREZ	OK
10/10/80	12:35	132	DAVID QUINN	OK
10/10/80	12:40	133	EVE REED	OK
10/10/80	12:45	134	FRANK SHERMAN	OK
10/10/80	12:50	135	GRACE SIMMONS	OK
10/10/80	12:55	136	HELEN TUCKER	OK
10/10/80	1:00	137	IRVING VAUGHN	OK
10/10/80	1:05	138	JACK WATSON	OK
10/10/80	1:10	139	JILL WYATT	OK
10/10/80	1:15	140	JOHN XANTHOPOULOS	OK
10/10/80	1:20	141	JANE YAMAGUCHI	OK
10/10/80	1:25	142	BOB ZACHAROW	OK
10/10/80	1:30	143	ALICE ZIEGLER	OK
10/10/80	1:35	144	CHARLIE ZIMMERMAN	OK
10/10/80	1:40	145	DAVID ADAMS	OK
10/10/80	1:45	146	EVE BAKER	OK
10/10/80	1:50	147	FRANK CAMPBELL	OK
10/10/80	1:55	148	GRACE COOPER	OK
10/10/80	2:00	149	HELEN DAVIS	OK
10/10/80	2:05	150	IRVING EVANS	OK
10/10/80	2:10	151	JACK FOSTER	OK
10/10/80	2:15	152	JILL GIBSON	OK
10/10/80	2:20	153	JOHN HARRIS	OK
10/10/80	2:25	154	JANE KELLY	OK
10/10/80	2:30	155	BOB LAMBERT	OK
10/10/80	2:35	156	ALICE MITCHELL	OK
10/10/80	2:40	157	CHARLIE NICHOLS	OK
10/10/80	2:45	158	DAVID ORTEGA	OK
10/10/80	2:50	159	EVE PEREZ	OK
10/10/80	2:55	160	FRANK QUINN	OK
10/10/80	3:00	161	GRACE REED	OK
10/10/80	3:05	162	HELEN SHERMAN	OK
10/10/80	3:10	163	IRVING SIMMONS	OK
10/10/80	3:15	164	JACK TUCKER	OK
10/10/80	3:20	165	JILL VAUGHN	OK
10/10/80	3:25	166	JOHN WATSON	OK
10/10/80	3:30	167	JANE WYATT	OK
10/10/80	3:35	168	BOB XANTHOPOULOS	OK
10/10/80	3:40	169	ALICE YAMAGUCHI	OK
10/10/80	3:45	170	CHARLIE ZACHAROW	OK
10/10/80	3:50	171	DAVID ZIEGLER	OK
10/10/80	3:55	172	EVE ZIMMERMAN	OK
10/10/80	4:00	173	FRANK ADAMS	OK
10/10/80	4:05	174	GRACE BAKER	OK
10/10/80	4:10	175	HELEN CAMPBELL	OK
10/10/80	4:15	176	IRVING COOPER	OK
10/10/80	4:20	177	JACK DAVIS	OK
10/10/80	4:25	178	JILL EVANS	OK
10/10/80	4:30	179	JOHN FOSTER	OK
10/10/80	4:35	180	JANE GIBSON	OK
10/10/80	4:40	181	BOB HARRIS	OK
10/10/80	4:45	182	ALICE KELLY	OK
10/10/80	4:50	183	CHARLIE LAMBERT	OK
10/10/80	4:55	184	DAVID MITCHELL	OK
10/10/80	5:00	185	EVE NICHOLS	OK
10/10/80	5:05	186	FRANK ORTEGA	OK
10/10/80	5:10	187	GRACE PEREZ	OK
10/10/80	5:15	188	HELEN QUINN	OK
10/10/80	5:20	189	IRVING REED	OK
10/10/80	5:25	190	JACK SHERMAN	OK
10/10/80	5:30	191	JILL SIMMONS	OK
10/10/80	5:35	192	JOHN TUCKER	OK
10/10/80	5:40	193	JANE VAUGHN	OK
10/10/80	5:45	194	BOB WATSON	OK
10/10/80	5:50	195	ALICE WYATT	OK
10/10/80	5:55	196	CHARLIE XANTHOPOULOS	OK
10/10/80	6:00	197	DAVID YAMAGUCHI	OK
10/10/80	6:05	198	EVE ZACHAROW	OK
10/10/80	6:10	199	FRANK ZIEGLER	OK
10/10/80	6:15	200	GRACE ZIMMERMAN	OK

[illegible]



CLDIT NO. PROJECT NO.  
325 - 0769  
**C1-1A**  
SHEET 7 OF 50





FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineers.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 402**  
**SIDE REAR to FRONT: LOT GRADING**  
BLOCK TWENTY-ONE, LOTS 3 - 10  
BLOCK TWENTY-FOUR, LOTS 1 - 21  
BLOCK TWENTY-FIVE, LOTS 1 - 5

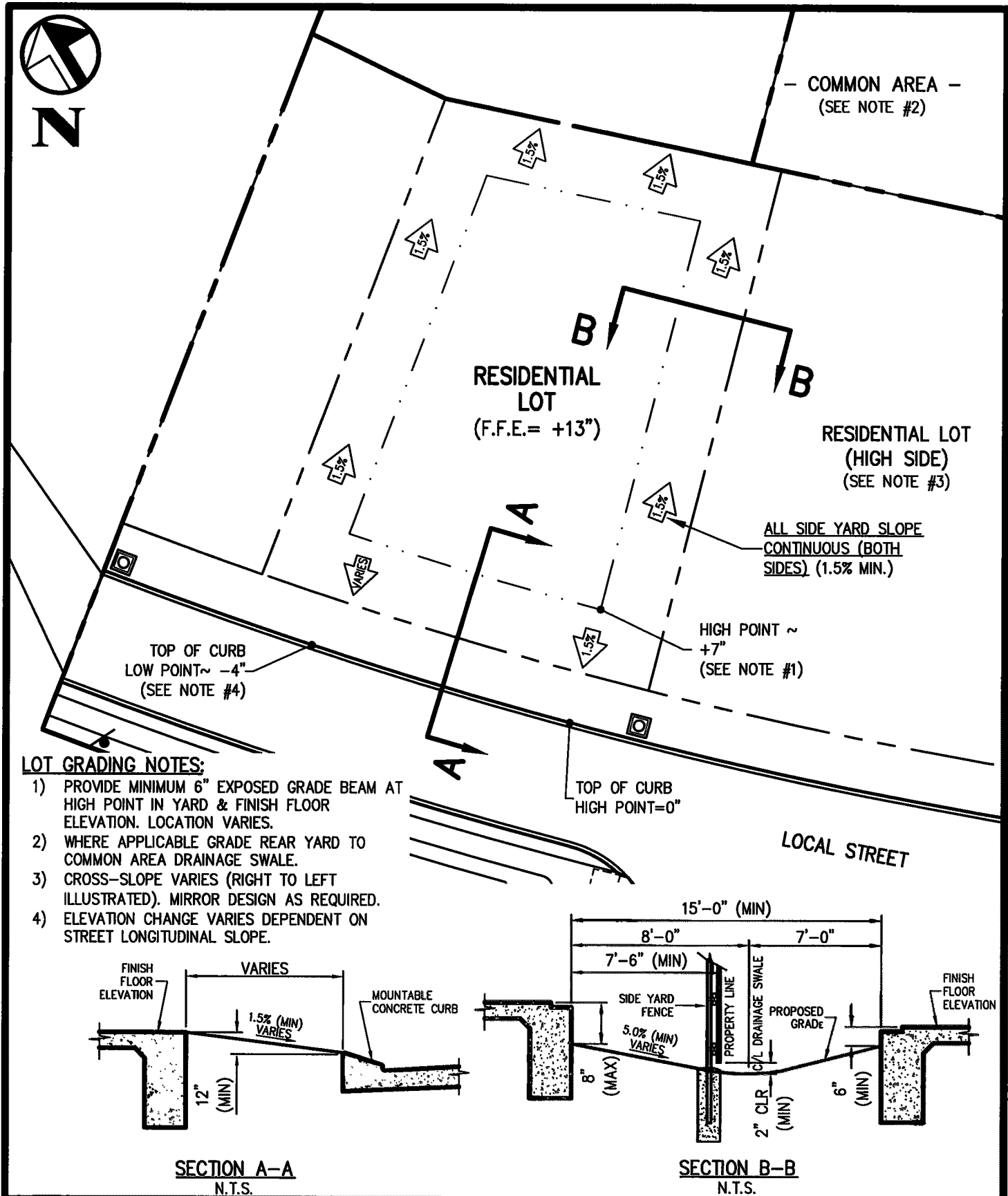
RME No. 325-0769

REV: 1  
DATE: 6/24/24  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
1 OF 4

SHEET TITLE  
**X-1**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengincor.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 402**  
**SIDE FRONT to REAR: LOT GRADING**  
**BLOCK TWENTY-ONE, LOTS 15 - 19**

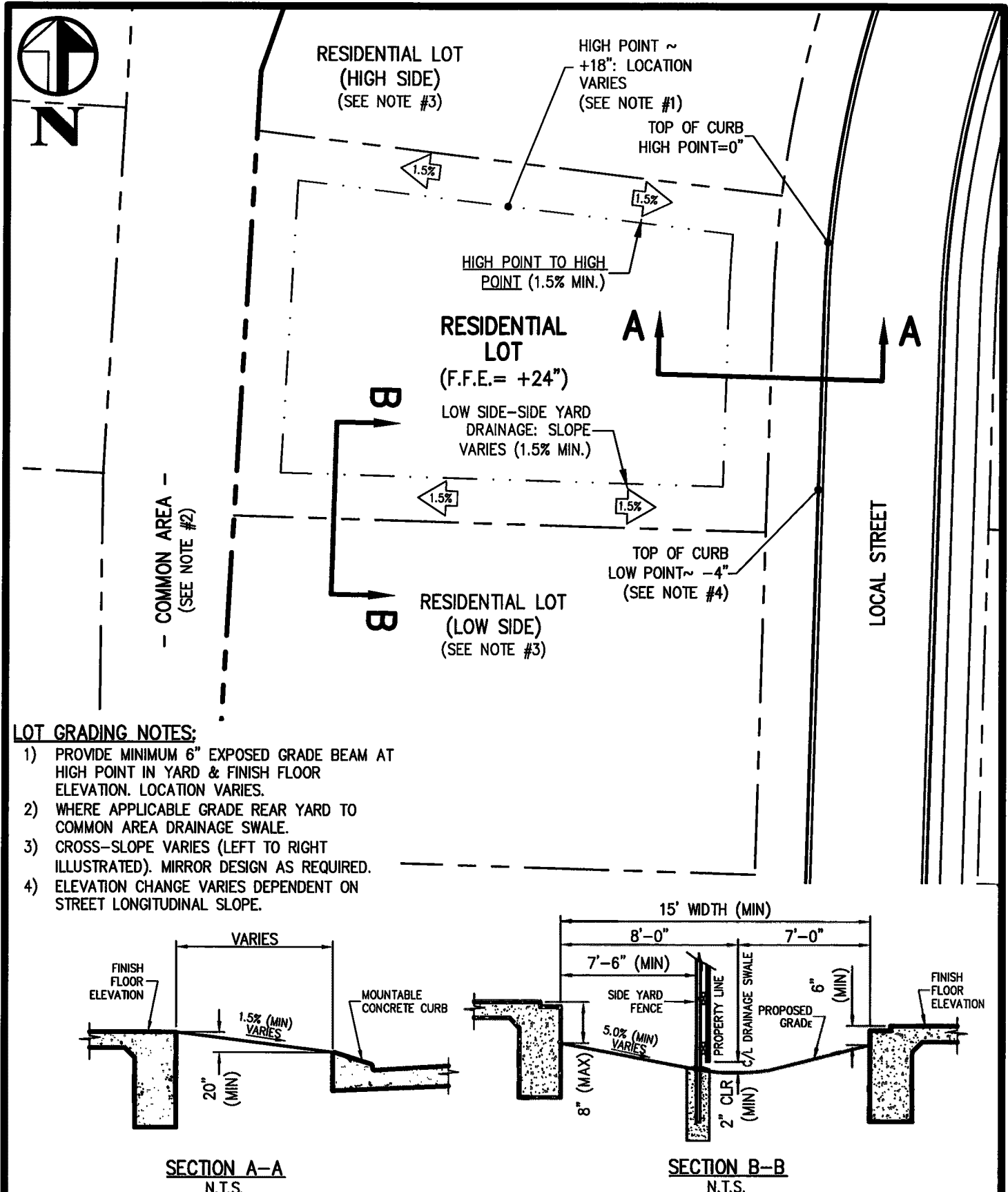
RME No. 325-0769

REV: 1  
DATE: 6/24/24  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
2 OF 4

SHEET TITLE  
**X-2**



FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF: (979) 764-0704

**GREENS PRAIRIE RESERVE, PHASE 402**  
**SPLIT REAR & FRONT: LOT GRADING**  
**BLOCK TWENTY-ONE, LOTS 11 -14**

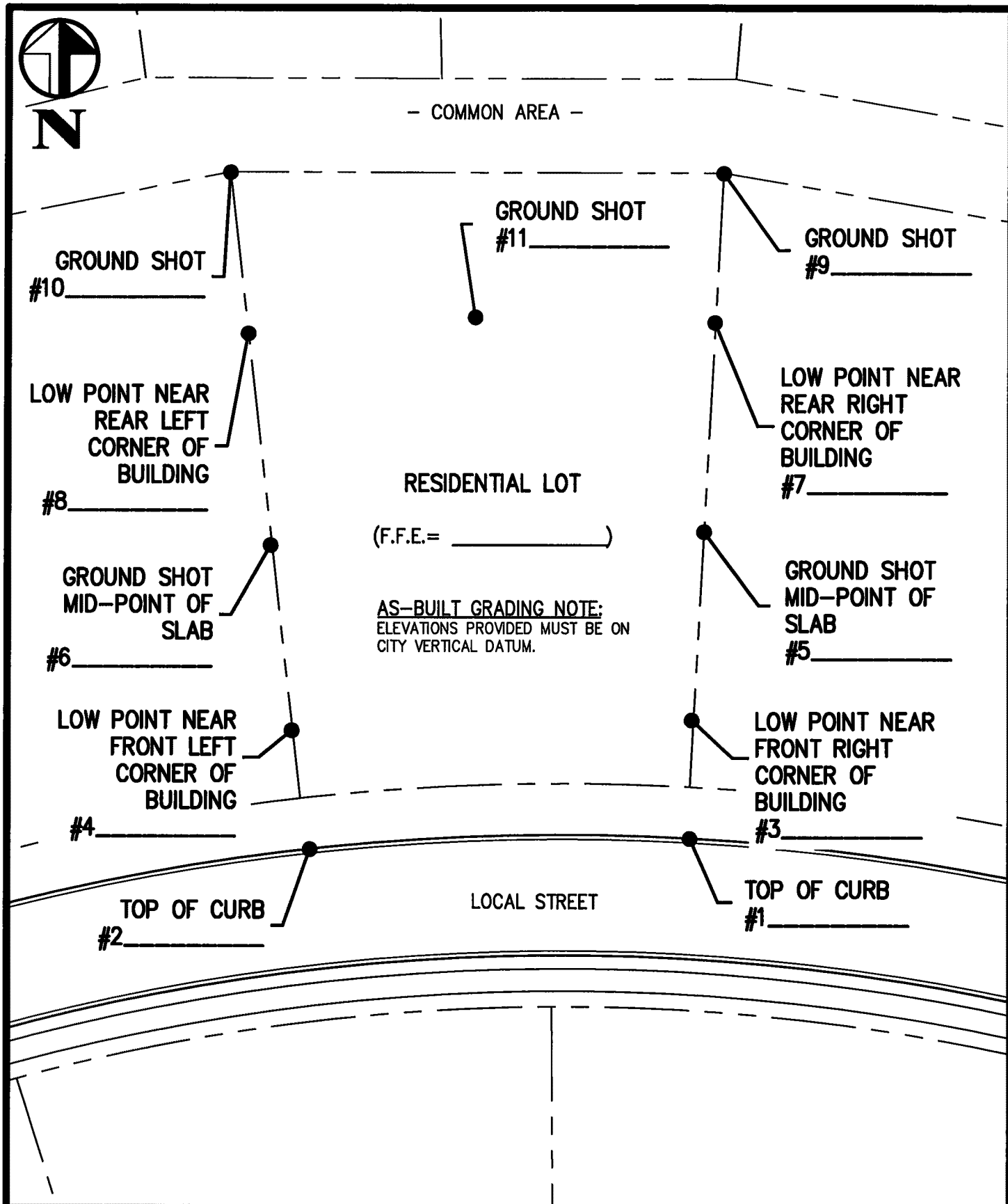
RME No. 325-0769


REV: 1  
DATE: 6/24/24  
FILE: LOT-GRADING  
SCALE: 1"=30'

DRAWN BY: RAM  
CHK BY: MW

SHEET NO.  
3 OF 4

SHEET TITLE  
**X-3**



 <p>FIRM REGISTRATION No. F-4695 POST OFFICE BOX 9253 COLLEGE STATION, TX 77842 EMAIL: civil@rmengineer.com OFF: (979) 764-0704</p>	<p><b>GREENS PRAIRIE RESERVE, PHASE 402</b> <b>AS-BUILT LOT GRADING SURVEY</b> BLOCK _____, LOT _____</p> <p>RME No. 325-0769</p>	<p>REV: _____ DATE: 6/24/24 FILE: LOT-GRADING SCALE: 1"=30'</p> <p>DRAWN BY: RAM CHK BY: MW</p>	<p>SHEET NO. 4 OF 4</p> <p>SHEET TITLE <b>X-4</b></p>
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**SHERWIN-WILLIAMS.**

# Paint Maintenance Guide

*Greens Prairie Reserve*

Presented To:

**NA**

Presented By:

**Phillip Elley**

SALES- Sales Representative PC Multi-Segment

(979) 739-4100

Phillip.M.Elley@sherwin.com

Products are available at:

BRYAN

3816 S TEXAS AVE

BRYAN, TX 77802 3712

(979) 846-4745

COLLEGE STATION

3108 Texas Ave S.

College Station, TX 77845

(979) 680-9700

March 06, 2022

**SHERWIN-WILLIAMS.****GREENS PRAIRIE RESERVE  
March 06, 2022****Description:**  
WoodScapes®  
Exterior  
Polyurethane Semi  
-Transparent Stain  
Clear Base**Product:**  
A15T00005**Substrate:**  
Wood - Exterior  
Cedar**Area:**  
Wood Fences**Color:**  
200% 3518  
Hawthorne - Green  
Prairie Reserve  
Fence Stain 200%  
Hawthorne**Label:**  
Finish**Order #:**  
241176/707392**Comments:**  
Let first coat dry,  
then apply a  
second coat if  
needed to achieve  
the sample picket  
color.

*Due to screen and print limitations, colors seen here may not accurately reflect painted colors. To confirm your color choices, visit your neighborhood Sherwin-Williams store*





***SHERWIN-WILLIAMS.***

# Reference Pages



**SHERWIN-WILLIAMS.**

## Care and Cleaning of Interior and Exterior Coatings

### Background:

Establish procedures to maintain and clean interior and exterior painted substrates. To assure maximum washability and durability, wait at least two weeks before washing the dry paint film. Exterior coatings typically are very soft and flexible to allow for expansion and contraction of the coating during changes of temperature. Any hard scrubbing of standard exterior coatings is likely to damage the film. To clean and maintain the interior and exterior surfaces, we recommend these procedures.

### Concentrated Cleaners, Liquid or Dry:

- Read all the package directions before using. It is always recommended to test any cleaner on a small, inconspicuous area prior to use.
- Mix or dilute the cleaner per package instructions. Solution strength may be adjusted depending on amount and type of soil.
- Remove any heavy debris and contaminants.
- Using a sponge or cloth, wash surface dirt and marks.
- Do not allow the cleaner to dry on the surface.
- Always clean from the bottom of a wall to the top.
- Rinse the surface thoroughly.
- Repeat if necessary.

### Premixed Spray Cleaners:

- Read all the package directions before using. It is always recommended to test any cleaner on a small, inconspicuous area prior to use.
- Turn spray nozzle to desired spray pattern. (Open with nozzle facing away from you.)
- Remove any heavy debris and contaminants.
- Apply the cleaner to the dirt and marks; apply just enough to wet the area.
- Using a damp sponge or cloth, wipe to remove the surface dirt and marks and any excess cleaner. For difficult stains, some scrubbing may be necessary.
- Do not allow the cleaner to dry on the surface.
- If recommended on the cleaner package, rinse the surface thoroughly.
- Repeat if necessary.
- Return spray nozzle to the closed position.

### Cautions:

- Thoroughly read and understand all the label cautions prior to using any cleaner.
- Be sure that the cleaner is appropriate for the dirt/contamination.
- Do not mix together any cleaning compounds containing bleach and ammonia.
- Abrasive cleansers may damage a paint film, use very carefully.
- Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions would be advised.

### WARNING!

- Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.


**SHERWIN-WILLIAMS.**

## Care and Cleaning of Interior and Exterior Coatings

### The Sherwin-Williams Company Cleaning Products

**SuperDeck® Deck Wash** is designed to bring back the fresh, natural look of your deck. Enjoy the self-working, no scrub formulation. This product is an excellent choice to restore your surface or to use as a pretreatment for staining, preserving, or sealing. Use on decks and outdoor furniture made of pressure treated wood, cedar, pine, and most other woods. This product is intended for exterior use only.

**SuperDeck® Stain & Sealer Remover** is specifically designed to remove most semi-transparent and weathered solid latex and oil-based stains from decks and other exterior wood. SuperDeck Stain & Sealer Remover allows you to change the color of your deck or siding by restoring the natural beauty of the wood. SuperDeck Stain & Sealer Remover can be used on most exterior wood surfaces such as decks, siding and fences and will remove the following stains and finishes:

- Polyurethane and some weathered latex paint.
- Oil-based toners, semi-transparent, and weathered solid stains.
- Water-based toners, semi-transparent, and weathered stain.
- Water-reducible toners, semi-transparent and weathered solid stains.
- Old, weathered, clear protective finishes.

SuperDeck Stain & Sealer Remover will restore color to severely weathered and discolored wood.

**SuperDeck® Revive® Deck & Siding Brightener** is a fast-acting, ready-to-use cleaner specially formulated for cedar, redwood and other highly resinous exterior woods as well as dense woods such as mahogany. Due to the chemical characteristics of these types of woods, traditional cleaners can leave the surface with an unnatural, darkened appearance. SuperDeck Revive Deck & Siding Brightener will help remove dirt and unsightly stains caused by mildew and algae, gray and weathered wood, tannin bleed and nail bleed as well as stubborn mill glaze (a surface barrier to wood coatings found on most newly installed cedar and redwood) and restore the surface to its bright, clean natural look. SuperDeck Revive Deck & Siding Brightener can be used on any new or existing exterior structure including wood decks, fences, siding, shakes, shingles, boat docks, boardwalks, outdoor furniture, picnic tables, hot tubs, planters, benches, trellises and gazebos.

**H&C Concrete Etching Solution** is a phosphoric acid-based etcher that has been developed to acid etch concrete surfaces before applying H&C Silicone Acrylic Concrete Sealer, H&C Shield Plus Concrete Stain, and other coatings. Uses: • Basement floors and walls • Garage floors, carports and driveways • Porches, patios, walkways, steps • Swimming pool aprons • Recreation areas • Parking structures and parking lots • Retaining walls • Containment areas • Tilt-up construction • Removes efflorescence (alkali salts) • Reduces the pH of new concrete and new mortar joints.

**H&C Degreaser** is a concentrated heavy-duty cleaner that will remove most automotive fluids (oil, grease, brake fluid, transmission fluid, gear fluid and antifreeze) from concrete and masonry surfaces. Its primary use is to degrease and prepare concrete, block, brick, and masonry. Features: • Removes grease and oil stains • Prepares surfaces for paints, stains, and sealers • Increases any coating's ability to bond with the surface by providing a clean substrate Recommended Uses: • Stadium Supports • Bridges and Bridge Structures • Parking Garages • Patios and Walkways • Pool Decks • Concrete Driveways • Garage Floors • Block & Stucco Walls • Athletic/Tennis/Shuffleboard Courts • Other Concrete Surfaces • Use prior to etching



**SHERWIN-WILLIAMS.**

## **BASICS OF TOUCH-UP**

Often a painted area needs repair. Usually the damaged area is small and is repaired using a brush and roller. The art of repair is called "touching up" and there are many problems in making the repair as invisible as possible. Prerequisites for achieving good "touch-up" are that the paint be of the same color as the original, from the same manufacturer, from the same batch of paint and, ideally, from the same can, and that the area to be repaired has the same texture and appearance of the surrounding area.

If the "touch-up" patch is visible under all illumination conditions then it is poorly done; if one must search for it, then the "touch-up" is good.

### **COMPONENTS OF "TOUCH-UP"**

Touch-up complaints are often not specific about what aspect makes the repair visible. In fact, there are three separate and identifiable components that can be included in a "touch-up" problem. All three components contribute to the visibility of the repair and stem from the use of different application techniques for the original paint and the repair. Usually a brush repair over an airless sprayed original will be very visible. Most of the following comments concern that situation, but they can also be applied to other combinations. On some jobs one problem may be visible, on others they may occur in combinations. It is much easier to understand the cause of the poor "touch-up" if the problem components are identified.

#### **1. "HALO"**

Halo's are created at the edge of the repair by tendrils of paint left by the brush as it enters and exits the area around the patch. Human eyes are very good at determining texture changes and are thus very sensitive to touch-up and "halo" in particular. The texture is more raised in these areas than the main part of the repair, so they produce shadows when illuminated from the far side and reflect light back to the observer when illuminated from the same side.

A painter can make the situation worse by attempting to feather the repair excessively. This creates more edge texture. Halo is diminished if the paint spreads smoothly and continuously over the original layer. If the repair paint thickens in viscosity rapidly as it is spread then it will not level well and the texture at the edge will be especially bad. Thus patching over porous paint, e.g. a flat paint, is more likely to cause a "halo" problem. In the field the "halo" problem may be alleviated by stippling with a brush or otherwise trying to duplicate the texture of the original. Diluting the repair paint by 10-15% may help by accommodating the wicking problem.

#### **2. DIFFERENT SHEEN**

This part of the "touch up" problem is noticed as a difference over the whole repair patch particularly at oblique angles. The patch appears either shiny or dull compared to the background. The effect may be accompanied by a "halo".

Features larger than three mil, e.g. brush marks, roller stipple etc., produce shadowing or reflections like the "halo", but not a change in sheen. Sheen differences are due to changes in the way the light is scattered from smaller features, i.e., roughness, in the paint surface. The shape and the arrangement of the paint ingredients are what determine this. Changes in surface roughness are most visible at grazing angles of observation and illumination. This is often the way that poor touch-ups are first noticed. Drying conditions and application technique are important factors in determining surface roughness. Although paint can be formulated to minimize their importance, sheen differences may be seen when the original paint and the repair paint are applied differently or under widely different temperature and/or humidity conditions.

#### **3. COLOR DEVELOPMENT**

This problem is much less likely to occur than the other two types of touch-up problem. It most often appears as a difference in the depth of the color rather than a color shift, and can be seen at almost any angle of observation, but particularly near the perpendicular (90° angle) in contrast to the "halo" and "sheen" components above.

Changes in the way light is scattered from within the body of the paint film are most visible straight on for both observation and illumination. Poor color touch-up results from differences in pigment particle separation caused by the differences in application techniques, e.g. brush vs. airless spray. Airless spraying inputs a very great deal of energy into paint and disperses pigment very well. Brushing or rolling shear-rates are two to three orders of magnitude less severe and may not disperse paint components in the same way.

*Reprinted from The Sherwin-Williams Materials Science R&D 1991, edited August 2008*

## **Data Pages**

105.23

**WoodScapes®****Exterior Polyurethane Semi-Transparent Wood Stain**

A15T00005

**SHERWIN  
WILLIAMS.****CHARACTERISTICS**

**WoodScapes Waterbased Exterior Polyurethane Semi-Transparent Stain** provides a lasting, mildew resistant film with excellent penetration for protecting most vertical exterior wood surfaces. It can be applied at air, surface, and material temperatures as low as 35°F.

**Color:** Semi-Transparent Stain Colors

**Coverage:** 100-350 sq. ft. per gallon Depending on porosity and texture.

**NOTE:** New wood normally requires less product than old, weathered wood. This is due to older wood being more porous than newer wood.

Drying and recoat times are temperature, humidity, and film thickness dependent. Air and surface temperatures must not drop below 35°F for 48 hours after application.

**Drying Time, @ 50% RH:**

	<b>35-45°F</b>	<b>@ 45°F+</b>
Touch:	2 hours	2 hours
Recoat:	24-48 hours	5 hours

**When applying a second coat, it must be applied within 30 days of the first coat.**

**Finish:** 0 units @ 85°

**Tinting with CCE:** Do not exceed 2 oz. gallon of tinting color

<b>Base</b>	<b>oz.per gallon</b>	<b>Strength</b>
Clear Base	0-2	SherColor

**Clear Base A15T00005**

**V.O.C.(Total):** 58 grams per litre; 0.48lbs. per gallon

**V.O.C.(less exempt solvents):** 418 grams per litre; 3.48lbs. per gallon

As per 40 CFR 59.406

**Volume Solids:** 8.4 ± 2%

**Weight Solids:** 10.6 ± 2%

**Weight per Gallon:** 8.54 lbs

**Flash Point:** N.A.

**Vehicle Type:** Polyurethane

**Shelf Life:** 36 months unopened

**Mildew Resistant**

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

**COMPLIANCE**

As of 07/09/2020, Complies with:

<b>OTC</b>	Yes
<b>OTC Phase II</b>	Yes
<b>SCAQMD</b>	Yes
<b>CARB</b>	Yes
<b>CARB SCM 2007</b>	Yes
<b>Canada</b>	Yes
<b>LEED® v4 &amp; v4.1 Emissions</b>	N/A
<b>LEED® v4 &amp; v4.1 VOC</b>	Yes
<b>EPD-NSF® Certified</b>	N/A
<b>MIR-Manufacturer Inventory</b>	N/A
<b>MPI®</b>	No

**APPLICATION**

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

**Brush:**

Use a nylon-polyester brush.

**Roller:**

Use a 3/8-3/4 inch nap synthetic or lambswool roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide on [sherwin-williams.com](http://sherwin-williams.com)

**Spray—Airless**

**Pressure** 2000 p.s.i.

**Tip** .015-.017 inch

**APPLICATION TIPS**

Thoroughly stir contents before and occasionally during use. For uniformity, mix all cans together before use. Do not mix with any other stains or coatings.

- Stains tend to lap (dark lines where two freshly coated areas overlap). These tips will help avoid lap marks and keep the appearance uniform:
- Do not stain in direct sun or on a hot surface.
- Stain from a dry area into the adjoining wet stain area.
- Keep the leading edge wet and distribute the finish evenly.
- Use natural breaks as boundaries to divide large areas into smaller, more manageable ones.
- Stain a board from end to end.
- Use two coats on badly weathered or unfinished wood. When applying a second coat, it must be applied within 30 days of the first coat.
- Maintenance clean by using a non chlorinated bleach alternative
- Always apply product to a small test area and allow to dry completely before coating the entire project to ensure desired color and appearance.

**SPECIFICATION****Wood, Plywood**

2 coats WoodScapes Waterbased Exterior Polyurethane Semi-Transparent Stain

Two coats are necessary to achieve the selected color. Wait the appropriate recoat time for the first coat to dry.

For the best performance, and to achieve the warranty protection, apply two coats. A sample brushout is recommended to ensure color satisfaction.

When applying a second coat, it must be applied within 30 days of the first coat.

After 30 days, test the absorbency of the wood by sprinkling water on the surface. If the water does not bead up and penetrates into the wood quickly, the wood is ready to refinish. If the water beads up or does not penetrate, allow the wood to weather longer and test for absorbency again.

**WoodScapes®****Exterior Polyurethane Semi-Transparent Wood Stain****SURFACE PREPARATION**

**WARNING!** Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.

Remove all existing paint and replace any deteriorated substrate. Although this can be applied over earlier semi-transparent stains, some of the old color may be visible through this semi-transparent film. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Remove all surface contamination by washing with an appropriate cleaner to remove all dirt, air pollution, chalk, etc., especially in areas not exposed to direct weathering such as under eaves and porch ceilings. Rinse and allow the surface to dry. Test the absorbency of the wood by sprinkling water on the surface. If the water penetrates into the wood quickly, the wood is ready to finish. If the water beads up or does not penetrate, remove existing finish or contaminant. Then test for absorbency again. Do not apply coating over wet or damp surfaces.

**Caulking:**

Apply appropriate caulking and patching material to cracks, nail holes, or other surface imperfections. Filled areas will take the stain differently than bare wood.

Consider using a caulk that is a color similar to the stain color.

**SURFACE PREPARATION****Mildew:**

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach-water solution.

**Mill Glaze:**

Is a glossy finish on new, smooth sawn wood or on the peaks of some textured wood. This must be removed by sanding to allow the stain to penetrate.

**Pressure Treated Wood:**

Test the absorbency of the wood by sprinkling water on the surface. If the water penetrates into the wood quickly, the wood is ready to finish. If the water beads up or does not penetrate, remove existing finish or contaminant. Then test for absorbency again. Do not apply coating over wet or damp surfaces. Prepare the surface like any other wood surface.

Due to the green tone of many brands of pressure treated lumber, the color of the stain may look different from the color selected. Check the color on a test area prior to staining the entire project.

**Smooth or Rough Wood Siding and Plywood:**

Sand any exposed wood to a fresh surface. Replace any deteriorated wood.

**CAUTIONS**

Maintenance clean by using a non-chlorinated bleach alternative.

For exterior use only.

Do not use on composition board.

Do not use on roofs.

Not for use on horizontal surfaces, such as a roof, or floor, where water may collect.

Before using, carefully read **CAUTIONS** on label

Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately. **WARNING:** This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 07/09/2020 A15T00005 28 418  
FRG

**CLEANUP INFORMATION**

Clean spills, spatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.

**Brazos County  
Karen McQueen  
County Clerk**

---

**Instrument Number:** 1552557

Volume : 19750

ERecordings - Real Property

Recorded On: March 25, 2025 01:44 PM

Number of Pages: 160

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**" Examined and Charged as Follows: "**

Total Recording: \$661.00

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Receipt Number: 20250325000086  
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User: Thao C  
Station: CCLERK06

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STATE OF TEXAS  
COUNTY OF BRAZOS

I hereby certify that this Instrument was FILED In the File Number sequence on the date/time  
printed hereon, and was duly RECORDED in the Official Public Records of Brazos County, Texas.

Karen McQueen  
County Clerk  
Brazos County, TX